



WOODLAND PARK PLANNING COMMISSION AGENDA – 6:00 P.M. October 14, 2021 Council Chambers – 220 W. South Avenue

Zoom link from the calendar at the bottom of the front page of the City website (www.city-woodlandpark.org). Public input is important to the Planning Commission and comments are encouraged in writing in advance. Call 719-687-5209 for more information.

(6:00 p.m.) WORK SESSION

- A. Envision Woodland Park 2030: Final Review and Edits

(7:00 p.m.) REGULAR MEETING

1. **ORDER & ROLL CALL**
2. **APPROVE MINUTES:** September 23, 2021
3. **PUBLIC HEARINGS**
 - A. **FHDP2021-01 & FHDP2021-02:** Consider a Flood Hazard Development Permit (FHDP) requested by David Mijares (Applicant and Property Owner) to replat 3 single family lots into 2 single family lots and a tract for Fountain Creek for land legally described as Lots 10-12, Block 14, Fosters Addition (110 Chester Avenue) in the Urban Residential (UR) zone.
4. **REPORTS**
5. **ADJOURN**

WOODLAND PARK PLANNING COMMISSION
MEETING MINUTES for September 23, 2021
Council Chambers, 220 W South Avenue, Woodland Park

This meeting was a hybrid meeting with in-person and virtual attendance. The Zoom meeting link is in the calendar on the City website front page. Public input is very important to the Planning Commission. Comments were encouraged in writing in advance of the meeting to be submitted by mail to the Planning Department at PO Box 9007, Woodland Park, CO, 80866 or email to sriley@city-woodlandpark.org.

(6:00 pm) WORK SESSION

Chairman DeVaux called order at 6:00 pm.

Present	Chairman Jon DeVaux
Present	Vice-Chairman Ken Hartsfield
Present	Commissioner Lee Brown
Present	Commissioner Larry Larsen
Present	Commissioner Ellen Carrick
Absent	Commissioner Al Bunge
Staff Present:	Planning Director Sally Riley, City Planner Lor Pellegrino

- A. Envision Woodland Park 2030 Final Review and Edits: The Planning Commission received the revised document with all revisions included. A few more revisions were discussed during this work session and will be incorporated. An editor is reviewing the entire document for consistency. Any Planning Commission outstanding concerns should be sent to Mrs. Riley by Wednesday next week. The final document will be ready on October 7 and the Planning Commission public hearing to adopt the Comprehensive Plan is October 14. It will be forwarded to City Council to endorse the following week.
- B. Mrs. Riley went over a list of short term rentals pros and cons. City Council is considering whether or not to direct staff to consider code changes.

(7:00 pm) REGULAR MEETING

- 1. ORDER AND ROLL CALL.** Chairman DeVaux called order at 7:01 pm.

Present	Chairman Jon DeVaux
Present	Vice-Chairman Ken Hartsfield
Present	Commissioner Lee Brown
Present	Commissioner Larry Larsen
Present	Commissioner Ellen Carrick
Absent (excused)	Commissioner Al Bunge
Staff Present:	Planning Director Sally Riley, City Planner Lor Pellegrino

- 2. APPROVAL OF MINUTES.** The July 22, 2021 minutes were approved, as presented.

3. PUBLIC HEARINGS

- A. ZON2021-08:** consider a request by Woodland Park Community Church (Applicant & Property Owner) to rezone from Suburban Residential (SR) to Community Commercial (CC) to continue a preschool use on Lot 2, Park View Estates Filing 2 (800 Valley View Drive) in the Suburban Residential (SR) zone. (QJ) (City Council Public Hearing 7:00 p.m. - Thursday, October 21/21.

Mrs. Riley presented the staff report citing compliance with rezoning criteria and the comprehensive plan. She stated that the Church was unaware that the zoning was not in place and recommended that the Planning Commission approve the rezoning so that the existing daycare use can continue.

Chairman DeVaux opened the public comment portion of the meeting.

Mr. Mark Lucas is in favor of the rezoning and asked about the capacity of the daycare. The applicant stated that currently 75 children are enrolled and with the proposed addition, up to 90 can be enrolled.

Chairman DeVaux closed the public comment portion of the meeting.

Commissioner Hartsfield asked if other zones might be possible. Mrs. Riley stated that CC is the most appropriate zone since it abuts a lot zoned CC immediately to the west. Any other zone could be considered spot zoning which is legally problematic.

Commissioner Brown stated that the CC zone may not be the best fit given all the other uses allowed but that he is still in favor of the rezoning.

Commissioner Brown moved, and Commissioner Hartsfield seconded, that the Planning Commission recommend that City Council approve the request by Woodland Park Community Church (Applicant & Property Owner) to rezone from Suburban Residential (SR) to Community Commercial (CC) to continue a preschool use on Lot 2, Park View Estates Filing 2 (800 Valley View Drive) in the Suburban Residential (SR) zone.

YES: Brown, DeVaux, Carrick, Larsen, Hartsfield

NO: None

Motion **PASSES**

B. CUP2021-02: consider a request by Stuff Food Emporium (Applicant) and High Country Real Estate Holdings, LLC (Property Owner) for a Conditional Use Permit (CUP) for restaurant use on Lot 2, Morning Sun Business Park (100 Morning Sun Drive) in the Neighborhood Commercial (NC) zone. (QJ) (City Council Public Hearing 7:00 p.m. - Thursday, October 21/21)

Ms. Pellegrino presented the staff report citing compliance with the criteria for a conditional use permit for a restaurant use and recommended approval of the CUP.

The applicant stated that they are excited to open a restaurant in Woodland Park and offered to pass out menus describing their “stuff” food concept (which is large and flavorful portions).

Chairman DeVaux opened the public comment portion of the meeting.

Mrs. Kimberley Butcher spoke citing the following concerns: i. she did not receive a letter of notification or a phone call, ii. The on-site sign has been on the ground for a week, iii. a bar is not the best business to have in a residential neighborhood - downtown would be better, iv. the restaurant may turn into a “Gentleman’s Club”, and v. Stuff Foods advertising on the internet brings up advertising for a gentleman’s club in Colorado Springs.

Chairman DeVaux closed the public comment portion of the meeting.

The applicant stated that Snotty Fox is a client of the Stuff Food Truck business but that’s it. Stuff Foods is interested in opening a family restaurant only and not a gentleman’s club. The restaurant will close at 10 pm except Fridays and Saturdays, when it may close at 11 pm.

Mrs. Riley stated that adult entertainment is not permitted in the NC zone and is only permitted in industrial zones in the City. She also stated that a new sign will be posted as soon as possible.

Commissioner Hartsfield asked about parking. Mrs. Riley stated that the site satisfies the City’s requirements of 1 space/4 seats or 1 space/100 SF and that there is ample on-site parking. Commissioner Hartsfield stated that he supports the request and the restaurant should be given the opportunity to succeed on a site with past restaurant uses.

Commissioner Brown believes that while the US24/Morning Sun Drive intersection is uncomfortable and problematic in design, a restaurant use is appropriate on this site.

Commissioner Carrick supports a restaurant use given the history of restaurant use on this site and does not believe traffic will be an issue for the residential neighborhood.

Commissioner Hartsfield moved, and Commissioner Brown seconded, that the Planning Commission recommend that City Council approve a request by Stuft Food Emporium (Applicant) and High Country Real Estate Holdings, LLC (Property Owner) for a Conditional Use Permit (CUP 2021-02) for §18.09.090.P.2 Traditional/Family Restaurant use on Lot 2, Morning Sun Business Park (100 Morning Sun Drive) in the Neighborhood Commercial (NC) zone subject to the following conditions:

1. Prior to opening the restaurant:
 - a. A water fixture unit count shall be submitted to the Utilities Department; and
 - b. The parking lot shall be restriped.

YES: Brown, DeVaux, Carrick, Larsen, Hartsfield

NO: None

Motion **PASSES**

C. VAC2021-05: consider a request by Anthony Longman and Derin Wester (Applicants & Property Owners) to vacate a 90-foot long part of the alley (public right-of-way) between Lot 4, Block 6, Elm Heights (640 W. Gunnison Avenue) and Lots 6-7, Block 6, Lake Addition (605 N. Walnut Street) in the Urban Residential (UR) zone. (QJ) (City Council Public Hearing 7:00 p.m. - Thursday, October 21/21)

Ms. Pellegrino presented the staff report citing compliance with the criteria in Chapter 12.08 for vacating a right-of-way (alley) and recommended approval of the vacation request.

Chairman DeVaux opened the public comment portion of the meeting and seeing no one wishing to speak, closed the public comment portion of the meeting.

Commissioner Brown suggested that a condition be added to state that full vesting of that vacated portion of the alley will go to Mr. Longman.

Commissioner Larsen moved, and Commissioner Carrick seconded, that the Planning Commission recommend that City Council approve the request by Anthony Longman and Derin Wester (Applicants & Property Owners) to vacate a 90-foot long part of the alley (public right-of-way) between Lot 4, Block 6, Elm Heights (640 W. Gunnison Avenue) and Lots 6-7, Block 6, Lake Addition (605 N. Walnut Street) in the Urban Residential (UR) zone subject to the following conditions:

1. Reservation of a public access and utility easement to the City over the vacated portion (Parcel A); and
2. That Parcel A vest entirely with Mr. Longman (Lot 4, Block 6, Elm Heights).

YES: Brown, DeVaux, Carrick, Larsen, Hartsfield

NO: None

Motion **PASSES**

4. REPORTS

A. Mrs. Riley reported that City Planner Pellegrino's last day with the City is September 24. The Commissioners thanked her for her service and wished her well.

5. ADJOURN. The regular meeting adjourned at 8:18 pm.

Approved this _____ day of _____, 2021 by _____
Jon DeVaux, Chairman

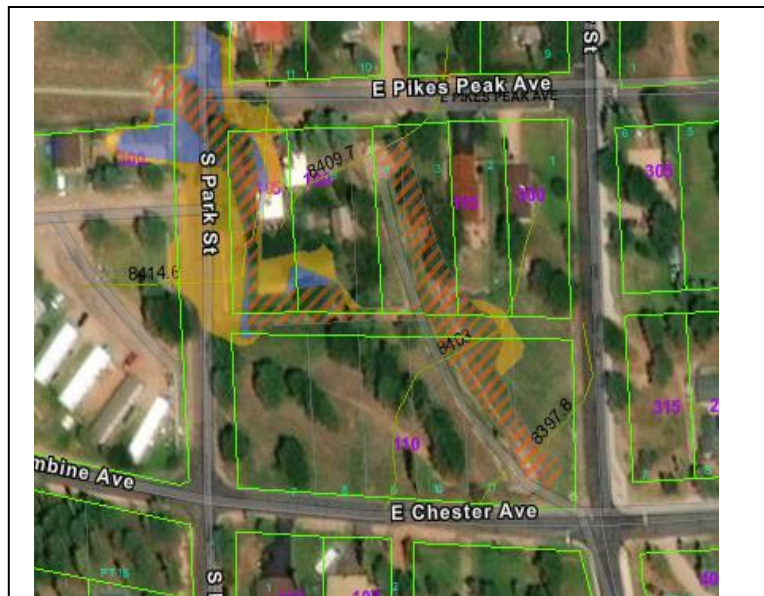
CITY OF WOODLAND PARK PLANNING COMMISSION STAFF REPORT

- PROJECT:** FHDP 2021-01 and FHDP 2021-02
Mijares Flood Hazard Development
Permit (FHDP)
- REQUEST:** To construct two (2) single family
residences (SFR) adjacent to the
Fountain Creek Special Flood Hazard
Area (SFHA)
- LOCATION:** Lots 1 & 2, & Tract A, Fosters
Addition No. 4 (110 Chester Avenue)
Urban Residential (UR) Zone
- FIRM:** Panel 08119C0206D
(Revised by LOMR Case #09-08-0500P on March 11, 2010)
- APPLICANT:** Stacked Hands, LLC (Owner), and David Mijares, P.E., Catamount
Engineering (Engineer/Owner)
- NEXT STEP:** Planning Commission is final decision-maker
Municipal Code (MC) §20.04.050 PC decision appeals to Board of Adjustment



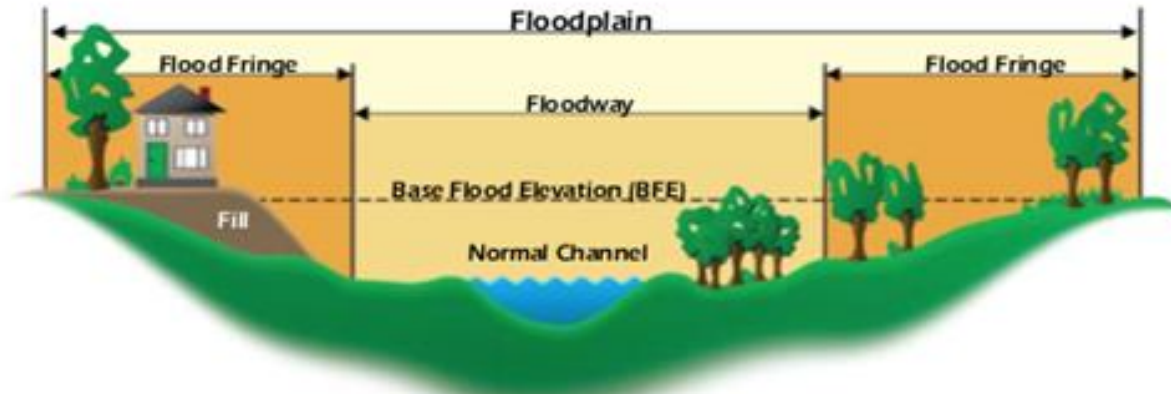
PROPOSAL

The applicant requests approval of a FHDP to construct two (2) SFR adjacent to the Fountain Creek SFHA in the UR zone district. A SFHA is the land in the floodplain subject to a one percent or greater chance of flooding in any given year. In accordance with MC §20.04.010, a FHDP is required before construction can begin within or adjacent to any SFHA and the Planning Commission is required to review and act upon such requests.



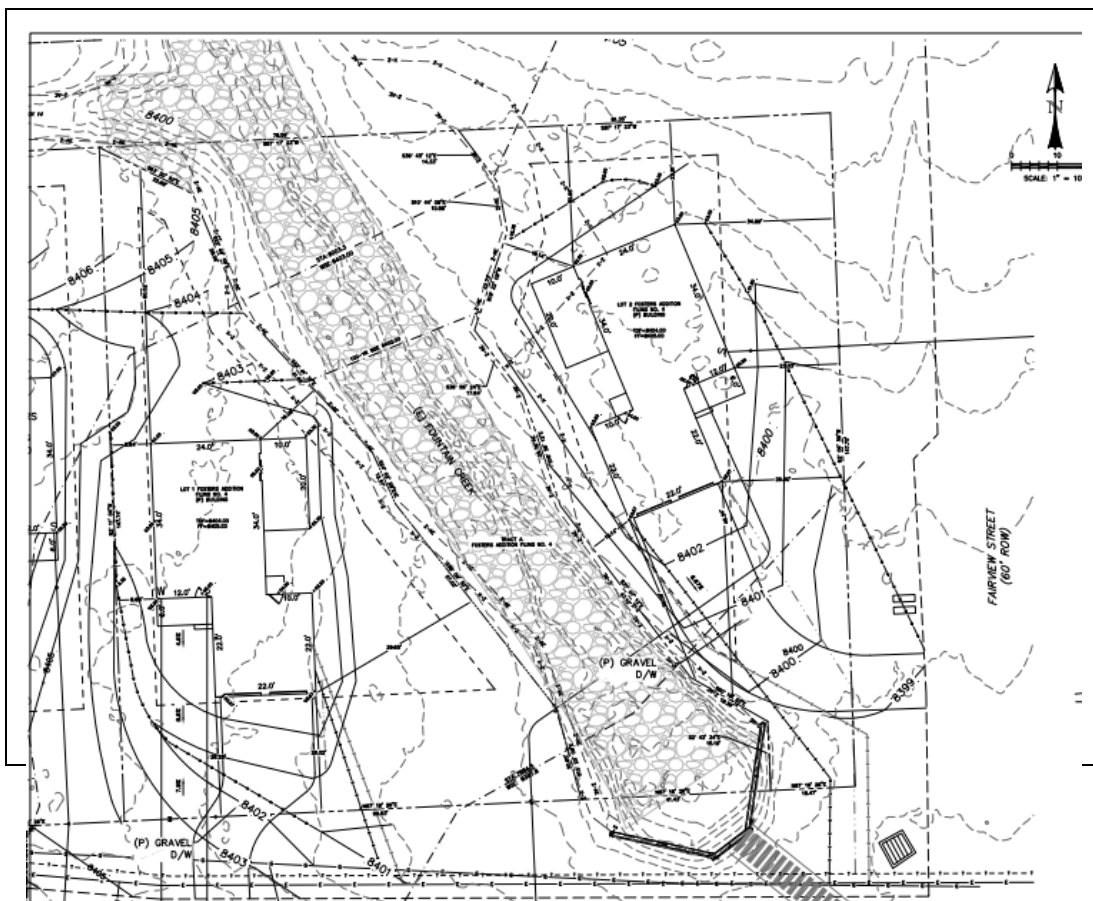
-  100 YEAR FLOOD
-  REGULATORY FLOODWAY
-  500 YEAR FLOOD

Characteristics of a Floodplain

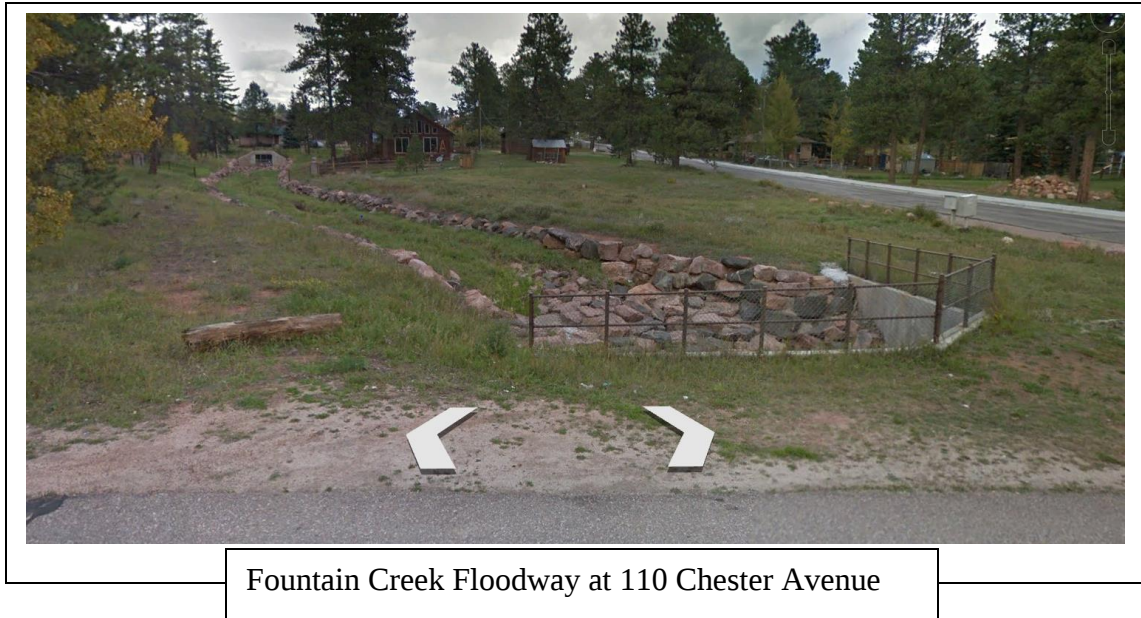


FLOODPLAIN DESCRIPTION

Lots 1 and 2 Fosters Addition No. 4 are adjacent to the Fountain Creek floodway and are being replatted to place the FEMA regulated floodway and zone AE in Tract A. Tract A is intended to be owned and maintained by the City of Woodland Park. All structures are located outside of the regulated 100-year Floodplain with a base flood elevation of 8402'. The finished floor elevation is proposed as 8405'. Flood Insurance Rate Map (FIRM) No. 08119C0206D revised to reflect Letter of Map Revision (LOMR) Case #09-08-0500P with an effective date of March 11, 2010 for this portion of Fountain Creek show the full extent of the floodplain. The Applicant states that the "Fountain Creek drainageway splits upstream of the site and travels southerly. A portion of the 100-year flow is routed along the north side of the lot within the platted alley in a city improved riprap lined drainage ditch. The remaining flows are confined within the Fountain Creek drainageway also a city improved riprap lined facility. The proposed development area consists of Lots 7 – 12, Block 14, Fosters Addition. Lots 10 - 12 are proposed to be replatted into Lots 1 & 2 and Tract A. The entirety of the floodway and Zone AE is contained in Tract A. Lots 1 & 2 will not contain regulated floodway or Zone AE floodplain. Portions of Zone X, 500-yr floodplain will remain within the replatted lots."



The Site Plan shows that each SFR homes are located on the east and west sides of Fountain Creek. The development will not disturb the regulatory floodway in any way. The finished floor (FF) elevation is proposed at 8405 feet. The proposal includes a 3-foot crawl space to be used for storage and considered a nonresidential enclosure. The applicant proposes to add fill to raise the top of foundation elevation of 8403' or one (1) foot above the FEMA regulatory 100-yr base flood elevation of 8402' and to provide positive drainage away from the foundations. Although not required, since the SFR is outside the SFHA, the finished floor of the SFR exceeds the City's minimum standard of one foot above the BFE. Utility service extensions to the lots from adjacent Chester Avenue and Fairview Street include water service, sanitary sewer service, natural gas and underground electrical service. Installation of underground utilities with negligible surface grade modification will have no effect on floodwater conveyance or elevation.



STAFF REVIEW

MC §20.04.020.C states that the Planning Commission shall review the application to determine whether any disturbance in the floodplain is in compliance with the standards found in §20.05.010 General Standards and §20.050.020 Specific Standards. The applicable General and Specific Standards in Title 20 of the Municipal Code are listed below complete with Staff's findings in *italics*. Final construction drawings for the SFR will be submitted and reviewed as part of the Building Permit and Zoning Development Permit (ZDP) administrative review processes.

CHAPTER 20.05 - PROVISIONS FOR FLOOD HAZARD REDUCTION

20.05.010 - General Standards

In all areas of special flood hazards, the following standards are required. Note that while this proposed SFR is **not** in the SFHA but the improvements are adjacent to a special flood hazard area.

A. Anchoring.

1. All new construction and substantial improvements shall be anchored to prevent flotation, collapse, or lateral movement of the structure and capable of resisting the hydrostatic and hydrodynamic loads.
2. [Manufactured Homes] **Not Applicable.**

Complies. *The Applicant indicates that each new single family dwelling will contain a typical foundation with concrete footing and concrete stemwall. Standard foundation drains surrounding a 3-foot high crawl space will be appropriately engineered based upon the soils report. Neither the SFRs nor their foundations will affect or impact the floodplain. Utility services (water, sewer, electric, gas, etc.) will be installed underground and anchored by burying.*

B. Construction Materials and Methods.

1. All new construction and substantial improvements shall be constructed with materials and utility equipment resistant to flood damage.
2. All new construction and substantial improvements shall be constructed using methods and practices that minimize flood damage.
3. All new construction and substantial improvements shall be constructed with electrical, heating, ventilation, plumbing, and air conditioning equipment and other service facilities that are designed and/or located so as to prevent water from entering or accumulating within the components during conditions of flooding.

Complies. *The Applicant proposes water tight joints for all service connections in compliance with City engineering standards. Water/sewer/service lines and cleanouts will be gasketed, caulked or sleeved/glued or otherwise water tight so as to be water resistant. Further, all HVAC/plumbing/electrical equipment for the SFRs, will be located above the BFE and not located in the crawl space. The homes are located outside of the regulated 100-yr floodplain.*

C. Utilities.

1. All new and replacement water supply systems shall be designed to minimize or eliminate infiltration of floodwaters into the system;
2. New and replacement sanitary sewage system shall be designed to minimize or eliminate infiltration of floodwaters into the systems and discharge from the systems into floodwaters; and
3. On-site waste disposal systems shall be located to avoid impairment to them or contaminization from them during flooding.

Complies. *All water supply and sanitary sewer systems are designed and constructed to minimize or eliminate infiltration of floodwaters and to avoid impairment to them or contaminization from them during flooding. The Applicant indicates water tight joints (i.e. sealed, gasketed, caulked or sleeved/glued water and sewer lines, and cleanouts). All water and sewer connections must comply with City standards and the final design will be reviewed by City staff with the SFR ZDP application and inspected by the City Inspector during installation.*

D. Subdivision and Development Proposals.

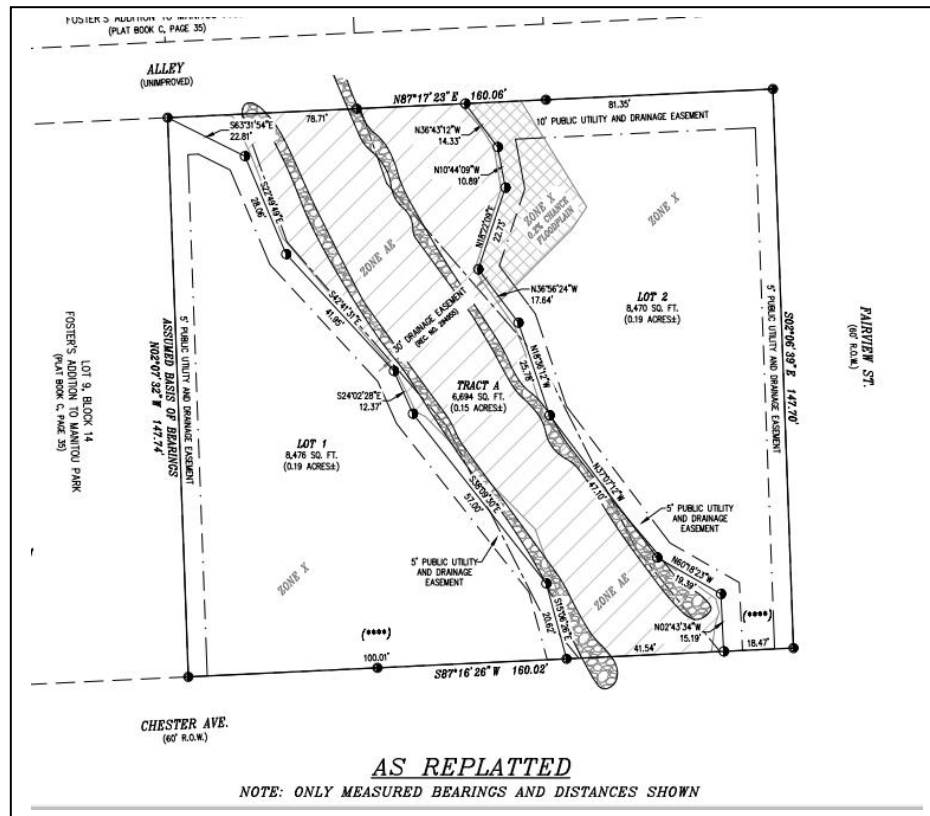
1. All subdivision and development proposals shall be consistent with the need to minimize flood damage.
2. All subdivision and development proposals shall have public utilities and facilities such as sewer, gas, electrical, and water systems located and constructed to minimize flood damage.

3. All subdivision and development proposals shall have adequate drainage provided to reduce exposure to flood damage.

Complies. Lots 1 and 2 Fosters Addition No. 4 are being replatted to place the FEMA regulated floodway and zone AE in Tract A. Tract A is intended to be owned and maintained by the City of Woodland Park. Applicant indicates on-site foundation drains around the base of the foundation perimeter and finished site slopes that will drain water away from the SFRs.

4. Base flood elevation (BFE) data shall be provided for subdivision proposals and other proposed developments.
5. All subdivision and development proposals shall clearly identify upon the Final Plat or Site Plan all areas of special flood hazards and all areas and/or lots immediately adjacent to special flood hazards within the jurisdiction of the city.

Complies. BFE is 8402' and is clearly shown on the Site Plan. The subdivision replat also clearly shows the limits of the floodplain and base flood elevations.



20.05.020 - Specific Standards

In all SFHAs where base flood data has been provided as set forth in MC §20.03.020 or MC §20.04.040.B the following provisions are required:

- A. Residential Construction. New construction and substantial improvement of any residential structure shall have the lowest floor (including basement) elevated to or above one foot above the base flood elevation.

Not Applicable. The SFRs are outside the SFHA; however the finished floors of the first level will be constructed 3 feet above the Base Flood Elevation.

B. Nonresidential Construction. **Not Applicable.**

C. Openings in Nonresidential Enclosures below the Lowest Floor. For all new construction and substantial improvements, fully enclosed areas for nonresidential uses below the lowest floor that are subject to flooding shall be designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for the entry and exit of floodwaters. Designs for meeting this requirement must either be certified by a registered professional engineer or architect or must meet or exceed the following minimum criteria:

1. A minimum of two openings having a total net area of not less than one square inch for every square foot of enclosed area subject to flooding shall be provided;
2. The bottom of all openings shall be no higher than one foot above grade;
3. Openings may be equipped with screens, louvers, or other coverings or devices; provided, that they permit the automatic entry and exit of floodwaters;
4. In Zones AO and AH, require drainage paths around structures on slopes to guide the water away from structures.

Not Applicable. *Neither the SFRs nor the 3-foot crawlspace under the SFR are located in a SFHA.*

D. Manufactured Homes. **Not Applicable.**

E. Soil Erosion Control and Landscaping Plans. Land disturbing activities for residential and nonresidential structures, fill, and the storage of materials may result in unprotected soils that would be highly susceptible to erosion during times of flooding if not protected.

Therefore, a soil erosion control and landscaping plan must be submitted and approved by the planning commission as an attachment to all flood hazard development permit applications.

Complies. *The Site Plan shows the proposed grading. Erosion control and landscaping shall be reviewed in detail with the Grading and Erosion Control ZDP submitted concurrent with the Building ZDP. The Applicant proposes to retain existing lot terrain and vegetation as much as possible. All disturbed areas are to be reseeded.*

F. Properties Removed From the Floodplain By Fill.

Not Applicable. *No property is removed from the floodplain by fill although fill is proposed in the unregulated Zone X SFHA. Fill will be the minimum necessary to elevate the SFRs above the surrounding yard and to provide positive drainage away from the foundation. Fill material shall be stockpiled on-site but outside the SFHA temporarily until such time as it will be placed in the proposed fill areas.*

G. Standards for Critical Facilities. **Not Applicable.**

20.05.030 - Floodways.

Located within SFHAs established in MC §20.03.020 are areas designated as floodways. Since the floodway is an extremely hazardous area due to the velocity of floodwaters which carry debris, potential projectiles, and erosion potential, the following provisions apply:

- A. Designate a regulatory floodway which will not increase the base flood level more than one-half foot for newly studied reaches.

Not Applicable. *Development is not proposed within the regulatory floodway within the Fountain Creek floodplain.*

B. Prohibit encroachments, including fill, new construction, substantial improvements, and other development unless a certification by a registered professional engineer or architect is provided demonstrating that encroachments shall not result in any increase in flood levels during an occurrence of the base flood discharge.

Complies. *No encroachments, including fill, new construction, substantial improvements, and other development is proposed in the floodway. The design engineer certifies in the narrative that improvements adjacent to the floodway will not result in any increase in flood levels during an occurrence of the base flood discharge.*

C. If paragraph B of this section is satisfied, all new construction and substantial improvements shall comply with all applicable flood hazard reduction provisions of Chapter 20.05.

Complies. *See analysis in this Staff report.*

D. Until a regulatory floodway is designated, no encroachment may increase the base flood level more than one-half foot.

Complies. *The proposed improvements do not encroach and do not change any rise in the base flood.*

20.05.040 - Areas adjacent to the areas of special flood hazards

Located adjacent to the SFHAs established in MC §20.03.020 are areas and/or lots designated as areas adjacent to SFHAs. Since these areas may, if not properly developed, increase the SFHAs within the city, the following provisions shall apply:

A. All new construction, subdivisions, and developments shall not be required to comply with all of the flood hazard reduction provisions of Chapter 20.05. However, the provisions of this section shall apply.

B. All new construction, subdivisions, and developments shall be consistent with the need to minimize the potential to possibly increase the flood damage upon adjacent areas.

C. All new construction, subdivisions, and developments shall have adequate drainage provided to minimize the potential to possibly increase the flood damage upon adjacent areas.

D. All new construction, subdivisions, and developments shall obtain flood hazard development permit and soil erosion control and landscaping plan approval before construction or development begins, in accordance with Chapter 20.04.

Complies. *The Applicant has demonstrated that the new SFRs have no impact on the potential to possibly increase the flood damage upon adjacent areas. Adequate drainage has been provided. Erosion control and best management practices are provided during construction, and landscaping shall be reviewed in detail with the Building Permit ZDP.*

REFERRAL

The FHDP was referred to the following City and external agencies for review and comment: WP Public Works, WP Utilities, City Inspector, NETCFPD, IREA, Black Hills, CenturyLink, and TDS Telecom. All comments have been incorporated into this staff report. Detailed comments related to building, utility installation, BMPs, grading, erosion, etc. will be addressed with subsequent ZDP, building, or other administrative applications.

STAFF RECOMMENDATION

Approve FHDP2021-01 and FHDP 2021-02 Mijares Flood Hazard Development Permits to construct two (2) single family residential dwellings adjacent to the Fountain Creek SFHA on Lots 1 and 2, Fosters Addition No. 4 (at the intersection of Chester Avenue and Fairview Street in the Urban Residential (UR) zone district as requested by Stacked Hands, LLC (Owner) based on the findings contained in this Staff Report and as presented at public hearings, subject to the following conditions:

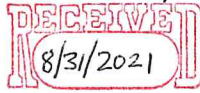
1. Prior to any land disturbance, submit for approval for the entire site, complete with all applicable fees:
 - a. The minor final plat for Lots 1 and 2, Fosters Addition No. 4 shall be approved by City Council on November 18, 2021.
 - b. A Final Building Zoning Development Permit including details of the installation/relocation of all services and utilities (*e.g.* cable/fiber optic lines, IREA lines, water, sewer, storm drains, etc.) complete with final landscaping; and
 - c. A Final Grading Plan with all erosion control and grading.
2. There shall be no impact to the Fountain Creek floodway in any way. No impact means no grading, landscaping, fill, deposit, deposition of debris, traverse, parking vehicles or any other change, alteration or disturbance of the existing floodway.
3. In addition to meeting all building code and City standards, road, utility services and building design, construction and installation shall in every case consider materials and methods that are resistant to, reduce exposure to, and minimize flood damage.
4. Property owners are encouraged to procure flood insurance to protect themselves, the buildings, and any possessions stored on-site in the event of a flood.
5. Prior to issue of a Certificate of Occupancy for the SFR, the engineer must submit the required post-construction Certificate of Compliance certifying that the improvements were installed and constructed in compliance with the provisions of Municipal Code Title 20 and this Flood Hazard Development Permit.

ATTACHMENTS

- A. FHDP Application for Lots 1 which is exactly the same as Lot 2 FHDP application.



**2021 FLOOD HAZARD
DEVELOPMENT PERMIT
Application Form**
(Revised 1/1/2021)



Project # 202108260

Case # FHDP2021-01

Fee: \$322.00

Project Name Fosters Addition #4, Lot 1

Date 08/12/21

1. Introduction to Flood Hazard Development Permit Application Form: A Flood Hazard Development Permit (FHDP) shall be obtained before construction or development begins within any area of special flood hazard as shown by Digital Flood Insurance Rate Map (DFIRM) dated September 25, 2009 and all subsequent amendments to the FIRM. This Permit is required in order for the City of Woodland Park to determine that the minimum standards and provisions of the City's Flood Damage Prevention Regulation (Title 20 of the Municipal Code) are met.

- a. The City reserves the right to reject and not process any incomplete application, as determined by the City Manager or designee.
- b. The City relies upon information found in this application and required attachments. This Application and Certification of Compliance shall be completed and certified by a Colorado Registered Professional Engineer or Architect.
- c. This Application and Permit approval shall be valid for 180 days from the date of permit issuance. If the use or construction is not commenced during that period, the Permit must be renewed.
- d. The Application will be reviewed by the City Planning Commission who shall offer a recommendation; the Permit will then be reviewed and issued by the City.
- e. The City shall prohibit encroachments, including fill, new construction, substantial improvements, and other development in areas designated as floodways.
- f. The Registered Professional Engineer or Architect is encouraged to consult with the City Manager or designee in order to determine the applicable Application and Regulation provisions for compliance.

2. Application to be completed by a Colorado Registered Professional Engineer or Architect.

a. **Owner** Stacked Hands LLC Mailing Address P. O. Box 221, Woodland Park, CO 80866
Phone(s) 719-426-2124 Email david@catamounteng.com

b. **Engineer** Catamount Engineering Mailing Address P. O. Box 221, Woodland Park, CO 80866
Phone(s) 719-426-2124 Email david@catamounteng.com

c. **Architect** _____ Mailing Address _____
Phone(s) _____ Email _____

d. **Contractor** _____ Mailing Address _____
Phone(s) _____ Email _____

3. Project Information

- a. Project Description A single family lot on the westerly bank of Fountain Creek near the intersection of Chester Ave and Fairview Street.
- b. Site Address 110 Chester Avenue
- c. Legal Description Lot 1 Block Subdivision Fosters Addition#4
(Or attach the Metes and Bounds Legal Description if the parcel is not subdivided.)
- d. Check all that apply.
- | | |
|---|--|
| ☒ Residential | ☐ New Subdivision |
| ☐ Non-Residential | ☐ Addition or Improvement |
| ☐ Manufactured Home | ☐ Existing Lot |
| ☐ Fill Material | ☐ Watercourse Alteration |
| ☐ New Construction | |
- e. Name of Watercourse Fountain Creek
- f. What is the estimated cost of the improvement? _____

4. Certifications: Pre-Permit Application Approval

Please check one below for each paragraph and fill in the blanks.

☒ Yes ☐ No ☐ N/A	I certify under oath and under penalties of perjury that the information in this application and required attachments is true and accurate to the best of my knowledge.
☒ Yes ☐ No ☐ N/A	It is intended that the structure or improvement described above will be constructed and designed to be in compliance with the provisions of the City of Woodland Park Flood Damage Prevention Regulations.
☒ Yes ☐ No ☐ N/A	It is intended that the lowest floor, including basements, shall be at an elevation of <u>8405.00</u> feet above mean sea level, at least one foot (1') above the base flood elevation at this site. It is understood that failure to construct the structure or improvement at this elevation may place the structure in violation of the City of Woodland Park Flood Damage Prevention Regulations.
☐ Yes ☐ No ☒ N/A	<u>Non-Residential Structure Only</u> – It is intended that the structure and/or improvement described herein will be flood-proofed to the elevation of _____ feet above mean sea level, at least one foot (1') above the base flood elevation at this site, and I further certify that the structure will be designed and so constructed to be watertight with walls substantially impermeable to the passage of water, have hydrostatic and hydrodynamic loads and effects of buoyancy, and to automatically equalize hydrostatic flood forces on exterior walls by allowing for the entry and exit of flood waters through two (2) openings.
☐ Yes ☐ No ☒ N/A	<u>Manufactured Home Only</u> - It is intended that the Manufactured Home described herein shall be tied down and anchored in compliance with the City of Woodland Park Flood Damage Prevention Regulation.

David Mijares DAVID MIJARES

Catamount Engineering 40510

Certifier's Name

Company Name

License No.

Certifier's Signature

Date

(Affix Seal Here)

40510

8.31.21

5. **Flood Damage Prevention Plan:** A Flood Damage Prevention Plan shall accompany this application and shall accurately include the following information and demonstrate that the provisions of the Flood Damage Prevention Regulation will be met.

Applicant Check If Included	City Check	Submittal Requirements
☒	☒	Complete Application. A completed application for a Flood Hazard Development Permit upon forms supplied by the Planning Department.
☒	☒	Application Fee. ➤ \$307.00
Drainage Report and/or Flood Damage Prevention Plans that includes:		
☒	☒	1. One (1) copy of the Drainage Report and/or Flood Damage Prevention Plan and one set of 24" x 36" sheet(s) along with one set of 11" x 17" sheet(s).
☒	☒	2. Adobe Portable Document Format (.pdf) formatted for printing on 24" x 36" sheet(s). Can be submitted on compact flash drive. Alternatively, the .pdf file can be emailed to: lpellegrino@city-woodlandpark.org or to sriley@city-woodlandpark.org
☒	☒	3. Drawings that are stamped and certified by a Colorado Registered Professional Engineer or Architect.
☒	☒	4. A vicinity/location map.
☒	☒	5. Property lines, dimensions, and known monuments.
☒	☒	6. Existing and proposed elevation contours at a minimum of two foot (2') intervals.
☒	☒	7. The location and dimensions of existing and proposed uses and structures, with reference to property lines.
☒	☒	8. The proposed or existing elevation, in relation to mean sea level, of the lowest floor, including basement, of all structures.

Applicant Check If Included	City Check	Submittal Requirements (cont.)
☐	N/A	9. <u>For non-residential structures only</u>, the proposed and existing elevation, in relation to mean sea level, to which the structure will be/or is flood proofed. Describe the methods and practices of construction and design to: A. Be flood-proofed so that below one foot (1') above the base flood elevation the structure is watertight with walls substantially impermeable to water; B. Have structural components capable of resisting hydrostatic and hydrodynamic loads and effects of buoyancy; C. Automatically equalize hydrostatic flood forces on exterior walls by allowing for the entry and exit of floodwaters, using a minimum of two (2) openings having a total net area of not less than one (1) square inch for every square foot of enclosed area subject to flooding and of which the bottom of said opening shall be higher than one foot (1') above grade.
☒	✓	10. A description of the type, location, extent, and finished elevation and the purpose of the placement of any proposed fill material.
☒	✓	11. A description of the type, location, and extent of any material to be stored at the site.
☐	N/A	12. A description of the existing and/or proposed location, relocation, extent, alterations, improvements, and elevation of all watercourses; also, include: The normal water surface elevation and channel, the areas of special flood hazard, floodways, areas immediately adjacent to areas of special flood hazard, and surface and sub-surface man-made drainage systems.
☒	✓	13. A description of the existing and/or proposed location, extent, and elevations of all parking spaces, lots and loading areas.
☒	✓	14. A description of the existing and/or proposed location, extent, and elevation of fire protection, water supply and sanitary sewer systems, including the methods designed and to be constructed to minimize or eliminate the infiltration of floodwaters into the systems or discharge from the systems into floodwaters.
☒	✓	15. A description of the existing and/or proposed location, extent, and elevation of streets and rights-of-way.
☒	✓	16. A description of the existing and/or proposed location, extent, and elevation of public utilities and facilities for electricity, gas, and telephone; including the methods designed to be constructed to minimize flood damage to each.
☒	✓	17. A description of how electrical, heating, ventilation, plumbing, air conditioning and other utility service facilities and equipment shall be designed, constructed and/or located so as to prevent flood water from entering or accumulating within the components during conditions of flooding.
☒	✓	18. A description of the materials and methods of design and construction to be utilized to minimize flood damage to the existing and/or proposed structures.

Applicant Check If Included	City Check	Submittal Requirements (cont.)
☒	☒ <i>outside SFHA</i>	19. A description of the anchoring methods to be utilized to prevent floatation, collapse and/or lateral movement of existing and/or proposed structures.
☒	☒	20. A description of the methods of design and construction to be utilized so that existing and/or proposed structures shall be capable of resisting the hydrostatic and hydrodynamic loads of water during the condition of flooding.
☒	☒	21. A description of how areas of special flood hazards and areas immediately adjacent thereto and the base flood elevation data shall be identified and noted upon the final subdivision plat, final development plan, or site plan.
☒	☒	22. A Soil Erosion Control and Landscaping Plan that describes methods and practices to be employed to maintain unprotected soils upon the site, including temporary methods during the time of construction, construction practice scheduling, slope protection methods, site stabilization with vegetation, preservation of existing vegetation, vegetation restoration and other methods and practices.
☒	☒	23. <u>For areas adjacent to the areas of special flood hazard only,</u> include and describe methods and practices to be utilized to minimize the potential for possibly increasing the flood damage upon adjacent areas.

6. Certifications: Post-Construction Documentation

Please check one for each paragraph below and fill in the blanks.

☐ Yes ☐ No ☐ N/A	I certify that the structure and/or improvement described herein has been designed and constructed to be in compliance with the provisions of the City of Woodland Park Flood Damage Prevention Regulation and this Flood Damage Development Permit Application.
☐ Yes ☐ No ☐ N/A	I certify that the structure and/or improvement described herein has the lowest floor, including basement, at an elevation of _____ feet above mean sea level, at least one foot (1') above the base flood elevation at this site, and that the elevation of the average adjacent grade next to the structure and/or improvement is _____ feet above mean sea level.
☐ Yes ☐ No ☐ N/A	<u>Non-residential structures only</u> – I certify that the structure and/or improvement described herein has been flood proofed to the elevation of _____ feet above mean sea level, at least one foot (1') above the base flood elevation at this site, and I further certify that to the best of my knowledge, information, and belief that the structure is designed and so constructed to be watertight with walls substantially impermeable to the passage of water, have structural components capable of resisting hydrostatic and hydrodynamic loads and effects of buoyancy, and to automatically equalize hydrostatic flood forces on exterior walls by allowing for the entry and exit of floodwaters through two (2) openings.

☐ Yes ☐ No ☐ N/A	<u>Manufactured Home Only</u> – I certify that the home described herein has been tied down and anchored in compliance with the Woodland Park Flood Damage Prevention Regulation.
---	---

 Certifier's Name

Company Name

License No.



 Certifier's Signature

Date

(Affix Seal Here)

7. Post Construction Approval Documentation

Please check one for each paragraph below and fill in the blanks.

☐ Yes ☐ No ☐ N/A	I have received certifications that the structure and/or improvement described herein has been designed and constructed to be in compliance with the provisions of the City of Woodland Park Flood Damage Prevention Regulation and this Flood Damage Development Permit Application.
☐ Yes ☐ No ☐ N/A	I have received certifications that the structure and/or improvement described herein has the lowest floor, including basement, at an elevation of _____ feet above mean sea level, at least one foot (1') above the base flood elevation at this site; The elevation of the average adjacent grade next to the structure and/or improvement is _____ feet above mean sea level.
☐ Yes ☐ No ☐ N/A	<u>Non-residential structures only</u> – I have received certifications that the structure and/or improvement described herein has been flood-proofed to the elevation of _____ feet above mean sea level, at least one foot (1') above the base flood elevation at this site, and that to the best of the Colorado Registered Professional Engineer's or Architect's knowledge, information, and belief that the structure is designed and so constructed to be watertight with walls substantially impermeable to the passage of water, have structural components capable of resisting hydrostatic and hydrodynamic loads and effects of buoyancy and to automatically equalize hydrostatic flood forces on exterior walls by allowing for the entry and exit of floodwaters through two (2) openings.
☐ Yes ☐ No ☐ N/A	<u>Manufactured Home Only</u> - I have received certifications that the Home described herein has been tied down and anchored in compliance with the City of Woodland Park Flood Damage Prevention Regulation.

 City Manager or Designee's Signature

Date

For City Use Only

1. The Application was reviewed and deemed complete ☒ or incomplete _____ on 8/31/2021

2. The proposed development is located in the following Area of Special Flood Hazard (check all that apply):

☐ "A" Zone – No Base Flood Elevations Determined

☐ "AE" Zone – Base Flood Elevations Determined

☐ "AH" Zone – Base Flood Elevations Determined

☐ Floodway Area

☒ Areas immediately adjacent to the Area of Special Flood Hazard

3. Name of the Watercourse Fountain Creek

4. The Base Flood Elevation at the Development site is 5402 feet above mean sea level.

Source Panel #08119C206D revised by LDMR Case #09-08-0500P
Effective March 11, 2010

5. The elevation to which the structure is to be elevated 5405 feet above mean sea level.

6. The elevation to which the structure is to be flood proofed N/A feet above mean sea level.

7. YES ☐ NO ☐ FEMA approval of watercourse alteration. N/A

8. YES ☒ NO ☐ All necessary standards, information, and certificates are attached and/or met. If not, provide explanation _____

9. The Application was reviewed by the following departments Planning and Public Works

10. Date of Planning Commission Public Hearing 10/14/2021

11. Planning Commission Recommendation _____

APPLICATION ACTION

☐ PERMIT DENIED

The proposed development and application is not in conformance with the applicable Flood Damage Prevention Regulation provisions.

By _____
City Manager or Designee's Signature Date

☐ PERMIT APPROVED TO COMMENCE DEVELOPMENT

The proposed development and application is found to be in conformance with the applicable Flood Damage Prevention Regulation provisions. This permit shall be granted to proceed in accordance with all of the information shown on the application, attachments, the provisions of the Flood Damage Prevention Regulations, and the subsequent submittal of the required post construction certifications.

By _____
City Manager or Designee's Signature Date

CONDITIONS OF APPROVAL

This image shows a single sheet of white paper with horizontal ruling lines. The lines are evenly spaced and run across the width of the page. There are no margins, text, or other markings on the paper.

Mrs. Riley,

The following information has been provided for Lot 1 Fosters Addition Filing No. 4 to accompany the Woodland Park 2020 Flood Hazard Development Permit application form. The following narratives reference the application form submittal requirement sections:

Section 1. Introduction to Flood Hazard Development Permit Application Form

A thru F – Noted.

Section 2. Application

A thru D – See application form.

Section 3. Project Information

A thru F – See application form.

Section 4. Certifications: Pre-permit Application Approval

See application form.

Section 5. Flood Damage Prevention Plan

1. See attached Flood Damage Prevention Plan and set of 24"x36" sheets & 11"x17" sheet
2. PDF documents sent to Sally Riley via email on 8/31/21
3. See attached drawing.
4. See attached drawing.
5. See attached drawing.
6. See attached drawing.
7. See attached drawing.
8. The proposed elevation of the finished floor shall be set a minimum of one (1) foot higher than the regulatory base flood water surface elevation (8402.00) at upstream cross section as shown on the attached drawing. The finished floor elevation is proposed to be 8405.00.
9. Not applicable.
10. The proposed fill material will consist of soil from an outside source native to the area. Fill will be placed such that the home will be elevated above the surrounding yard to provide positive drainage away from the foundation. Fill on the lot will be minimized as much as possible to preserve the existing lot terrain and vegetation. See attached drawings for extent and location of proposed fill on the site. The purpose of the fill is to raise the house finished floor elevation a minimum of one (1) foot above the regulatory base flood water surface elevation (8402). The finished floor is proposed as 8405.00.
11. Fill material native to the area will be stockpiled on-site temporarily as until such time as it will be placed in proposed fill areas. See attached drawing for fill placement and temporary stockpile location.
12. The Fountain Creek drainageway splits upstream of the site and travels southerly. A portion of the 100yr flow is routed along the north side of the lot within the platted alley in a city improved riprap lined drainage ditch. The remaining flows are confined within the Fountain Creek drainageway also a city improved riprap lined facility. The proposed development area consisted of Lots 7-12, Block 14, Fosters Addition. Lots 10-12 are proposed to be replatted into Lots 1 and 2 and tract A. The entirety of the floodway and Zone AE is contained in tract A to be conveyed to the City of Woodland Park. Lots 1 and 2 will not contain regulated floodway or Zone AE floodplain. Portions of the Zone X, 500-yr floodplain, will remain within the replatted lots.
13. See attached drawings.

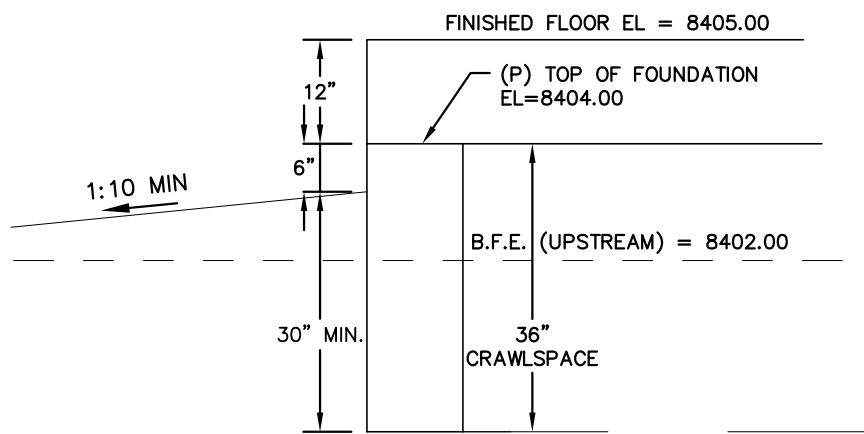
14. See attached drawing. Utility service extensions to the lot from adjacent Chester and Fairview Street include water service, sanitary sewer service, natural gas service, and underground electrical service. Sanitary Sewer Service and Water Service have been extended underground at a minimum depth of 5' below existing ground surface and in accordance with City of Woodland Park Utilities Standards. Electrical service pedestal previously exists within the site. Gas service will be installed by utility provider via directional bore. Installation of underground utilities with negligible surface grade modification will have no effect on floodwater conveyance or elevation. Installation of sewer and water services in accordance with City of Woodland Park specifications to include water tight joints will eliminate any possible infiltration or discharge into the soil below the flood zone.
15. Chester Avenue is located along the south property line. It is a paved roadway approximately 24' wide with no curb and gutter. Fountain Creek is contained within a box culvert at the crossing of Chester Avenue.
16. See attached drawing. Utility service extensions to the lot from adjacent Chester Ave and Fairview Street to include water service, sanitary sewer service, natural gas service, and underground electrical service. Sanitary Sewer Service and Water Service have been extended underground at a minimum depth of 5' below existing ground surface and in accordance with City of Woodland Park Utilities Standards. Electrical service pedestal previously exists within the site. Gas service will be installed by utility provider via directional bore. Installation of underground utilities with negligible surface grade modification will have no effect on floodwater conveyance or elevation.
17. HVAC equipment will be located above base flood elevation. Entire structure is located outside of regulated 100-YR Floodplain.
18. Fill material will be imported to the site to raise the top of foundation elevation one (1) foot above the FEMA regulatory 100yr water surface elevation. Imported material will be placed with the use of typical earthmoving construction equipment such as loaders, graders, and skid steers. Grading around the foundation will direct flows away per city code requirements. Although floodplain exists within the platted lot, all portions of structure are located outside of regulated 100-YR floodplain.
19. Lots 1 and 2 are being replatted to place the regulated floodway and zone AE floodplain in tract A to be owned and maintained by the City of Woodland Park. All structures are located outside of regulated 100-YR floodplain. Foundations will be concrete footing with concrete stemwall.
20. Lots 1 and 2 are being replatted to place the regulated floodway and zone AE floodplain in tract A to be owned and maintained by the City of Woodland Park. All structures are located outside of regulated 100-YR floodplain. Foundations will be concrete footing with concrete stemwall.
21. Lots 1 and 2 are being replatted to place the regulated floodway and zone AE floodplain in tract A to be owned and maintained by the City of Woodland Park. Flood Zone information will be included on the final plat for Fosters Addition Filing No. 4
22. A detailed grading and erosion control plan has been developed for the proposed development of the lots.

23. A detailed grading and erosion control plan has been developed for the proposed development of the lots. No grading (or fill) is proposed in the adjacent floodway or Zone AE floodplain. No increase in flood elevation is proposed with lot development.

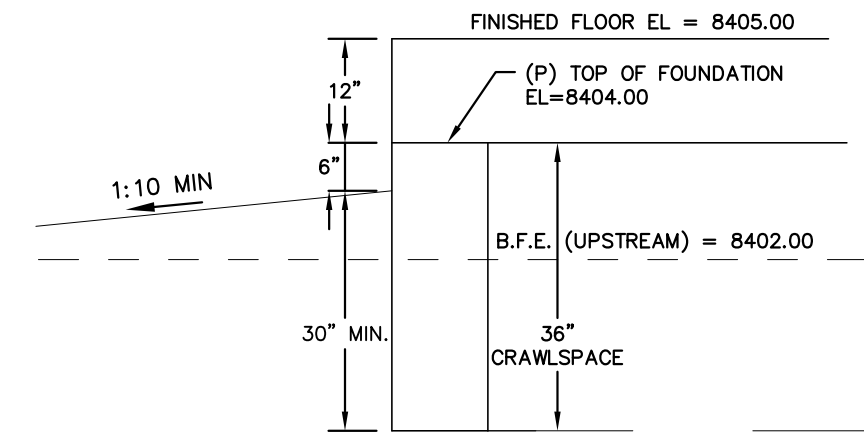


CONSTRUCTION NOTES:

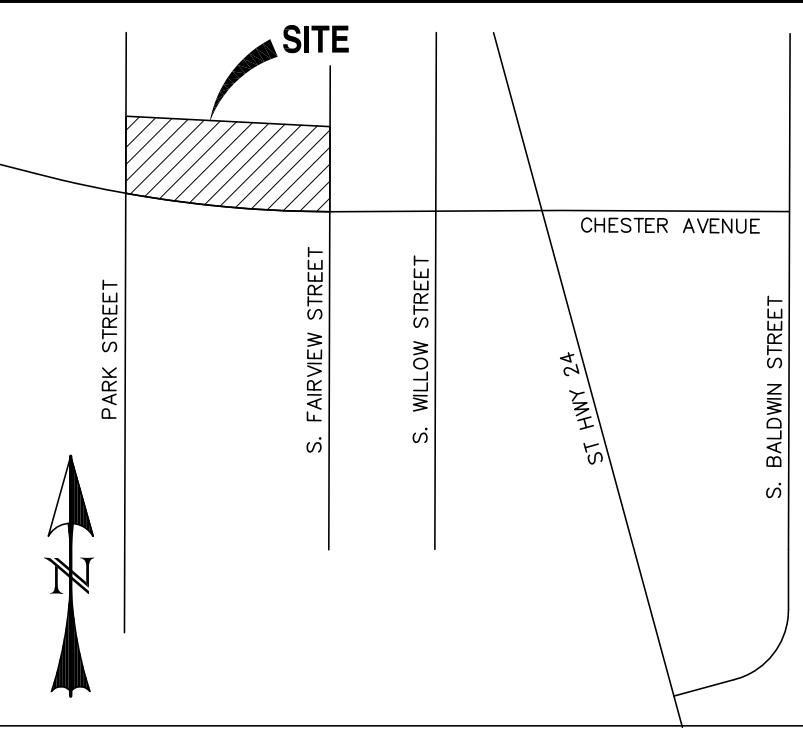
- ALL CONSTRUCTION SHALL MEET THE STANDARDS & SPECIFICATIONS OF THE CITY OF WOODLAND PARK.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THESE APPROVED PLANS AND ONE (1) COPY OF THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES.
- A. CITY OF WOODLAND PARK ENGINEERING SPECIFICATIONS
B. PROJECT SPECIFICATIONS
C. STATE OF COLORADO M&S STANDARDS (CDO)
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ACTUAL CONSTRUCTION. ALL EXISTING UTILITIES SHOWN ARE BASED ON INFORMATION OF RECORD. THE CONTRACTOR IS RESPONSIBLE TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE EXISTING UTILITIES SHOWN HEREON AND ANY OTHER EXISTING UTILITIES NOT OF RECORD OR NOT SHOWN ON THESE PLANS AND AGREES TO ACCEPT FULL RESPONSIBILITY FOR FAILURE TO LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.
- THE HORIZONTAL AND VERTICAL LOCATION OF EXISTING IMPROVEMENTS TO BE MET BY THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS SHALL BE CONFIRMED BY FIELD MEASUREMENTS PRIOR TO CONSTRUCTION. ANY SIGNIFICANT DISCREPANCIES FOUND BETWEEN THIS PLAN SET AND ACTUAL FIELD CONDITIONS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER OF RECORD FOR APPROPRIATE ACTION.
- THE CONTRACTOR IS ADVISED THAT ALL EXISTING CONDITIONS OUTSIDE THE AREA OF WORK SHALL BE PROTECTED, IF DAMAGE OCCURS DURING CONSTRUCTION, IT WILL BE REPLACED TO ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- ALL BACKFILL MATERIAL SHALL BE COMPACTED PER CITY OF WOODLAND PARK ENGINEERING SPECIFICATIONS.
- CONCRETE USED FOR CONSTRUCTION OF CURB AND GUTTER, SIDEWALK, AND CROSSPANS SHALL MEET REQUIREMENTS OF CITY ENGINEERING SPECIFICATIONS.
- ALL DISTURBED PAVEMENT EDGES WILL BE CUT TO NEAT LINES. THE THICKNESS OF ANY REPLACED ASPHALT AND BASE COURSE SHALL EQUAL OR EXCEED THE EXISTING THICKNESS.
- WHEN ADJUTING NEW PAVEMENT TO EXISTING, OR TO REMOVE ANY BROKEN OR CRACKED PAVEMENT, SAWCUT EXISTING PAVEMENT TO A STRAIGHT EDGE AND AT A RIGHT ANGLE, OR AS APPROVED BY THE CITY REPRESENTATIVE.
- FINAL GRADING OF CURBS AND PAVING SHALL PROVIDE POSITIVE DRAINAGE. STANDING WATER POCKETS OR PONDING SHALL NOT BE ACCEPTABLE.
- WHERE REMOVAL OF EXISTING CURB, GUTTER, SIDEWALK, OR PAVEMENT IS REQUIRED, THE CONTRACTOR SHALL SAWCUT AND/OR REMOVE TO THE NEAREST JOINT. CURB, GUTTER, AND SIDEWALK SHOWN AS EXISTING ON THESE PLANS IS NOT TO BE REMOVED UNLESS OTHERWISE NOTED. IF ANY OF THE EXISTING CURB, GUTTER, OR SIDEWALK IS DAMAGED BY THE CONTRACTOR, THEN IT SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND ROUTING DURING CONSTRUCTION, IF REQUIRED.
- USE OF SLOPES EXCEEDING 3:1 ARE TO BE APPROVED BY PROJECT GEOTECHNICAL ENGINEER PRIOR TO BEGINNING OF CONSTRUCTION. ADDITIONAL SLOPE PROTECTIONS INDICATED IN THE PROJECT GEOTECHNICAL REPORT SHALL BE IMPLEMENTED BY THE CONTRACTOR.
- TOP AND BOTTOM GROUND SURFACE OF REQUIRED WALLS ARE INDICATED IN THE PLANS. WALL MATERIAL, DESIGN, AND FOUNDATION ARE NOT INCLUDED AND FINAL DESIGN TO BE PROVIDED BY OTHERS.
- STOCKPILE LOCATIONS TO BE DETERMINED BY CONTRACTOR BASED ON FIELD CONDITIONS. STOCKPILES TO REMAIN LONGER THAN 48 HOURS WILL BE PROTECTED IN ACCORDANCE WITH DETAIL SM (STOCKPILE MANAGEMENT) ON SHEET 3 OF THIS PLAN SET.
- DRIVEWAY CULVERT TO BE OWNED AND MAINTAINED BY OWNER PER CITY CODE.
- AS DETERMINED BY FLOOD INSURANCE RATE MAP, COMMUNITY PANEL 0819002060 REVISED TO REFLECT LOMR CASE NO.: 09-08-0500P EFFECTIVE DATE MARCH 11, 2010. PORTIONS OF THE LOTS LIE WITHIN ZONE X FLOOD HAZARD AREAS. THE FLOODWAY AND ZONE AE FLOODPLAIN ARE CONTAINED WITHIN PROPOSED TRACT A.
- NO DEVELOPMENT OR FILL IS PROPOSED WITHIN THE FLOODWAY.
- FOUNDATION DRAINS TO BE INSTALLED PER FOUNDATION ENGINEERING REPORT. FOUNDATION DRAINS TO DAYLIGHT TO EXISTING GRADE.
- THIS LOT HAS A PRE-DISTURBANCE VEGETATIVE COVER OF APPROXIMATELY 80% NATIVE GRASSES WITH ONE LIVE ASPEN TREE.
- SOIL STABILIZATION MEASURES EMPLOYED FOR THIS PROJECT SHALL REMAIN IN PLACE UNTIL 70% OF THE PRE-DISTURBANCE LEVEL OF VEGETATIVE COVER/S.



LOT 1 FOUNDATION SECTION
SCALE: NTS



LOT 2 FOUNDATION SECTION
SCALE: NTS



VICINITY MAP
SCALE: N.T.S.

AGENCY CONTACTS:

OWNER:	STACKED HANDS LLC 321 W. HENRIETTA AVE, SUITE A WOODLAND PARK, CO 80863
WOODLAND PARK:	CITY OF WOODLAND PARK DEPARTMENT OF PUBLIC WORKS 220 W. SOUTH AVENUE WOODLAND PARK, CO 80866 ROBYN BROWN (719) 687-5213
ENGINEER:	CATAMOUNT ENGINEERING 321 W. HENRIETTA AVE, SUITE A WOODLAND PARK, CO 80866 DAVID L. MUJARES, PE (719) 337-8351
WATER/SEWER:	CITY OF WOODLAND PARK UTILITY DEPARTMENT 220 W. SOUTH AVENUE WOODLAND PARK, CO 80866 KIP WILEY (719) 687-5208
ELECTRIC:	IREA DAVID COKER (720) 733-5486
GAS:	BLACK HILLS ENERGY (719) 546-5812
BAJA BROADBAND	WILLIAM TRUJILLO William.Trujillo@cdtelecom.com
TELEPHONE:	CENTURY LINK BILL GATTI (719) 502-1019

LEGEND

EXISTING	(E)
PROPOSED	(P)
BOUNDARY	---
RIGHT-OF-WAY	---
LOT LINE	---
BES SECTION LINE	---
(E) CONTOUR, INDEX	---100---
(E) CONTOUR	---
(P) CONTOUR, INDEX	---100---
(P) CONTOUR	---
(E) SWALE	---
(P) SWALE	---
FINISHED FLOOR GARAGE	FFG
FINISHED GROUND	FG
FINISHED FLOOR	FF
FLOWLINE ELEVATION	FL
CENTERLINE	CL
HIGH POINT ELEVATION	HP
LOW POINT ELEVATION	LP
(E) 100-YR ZONE AE FLOODPLAIN	---Z-AE---
(E) 500-YR ZONE X FLOODPLAIN	---Z-X---

PREPARED FOR CONSTRUCTION UNDER MY DIRECT SUPERVISION:	
	08/12/21
DAVID L. MUJARES, COLORADO PE #40510	DATE
APPROVED FOR CONSTRUCTION	
CITY ENGINEER OR APPOINTED REPRESENTATIVE	DATE
"AS-BUILT" CERTIFIED BY:	
DAVID L. MUJARES, COLORADO PE #40510	DATE
APPROVED FOR "AS-BUILT" RECORD	
CITY ENGINEER OR APPOINTED REPRESENTATIVE	DATE

REV.	DESCRIPTION	DATE

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Call 72 hours before you dig.
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www.call811.com

PREPARED FOR:

STACKED HANDS LLC

321 W. HENRIETTA AVE, SUITE A
WOODLAND PARK, CO 80866
719.426.2124



LOTS 1 AND 2
FOSTERS ADDITION FILING NO. 4
FLOOD HAZARD EXHIBIT

DESIGNED BY:	DLM	DRAWN BY:	DBM
SCALE:	1"=10'	DATE:	08/12/21
JOB NUMBER	09-003	SHEET	1 OF 1

FOSTER'S ADDITION FILING NO. 4

A REPLAT OF LOTS 10, 11 & 12, BLOCK 14, FOSTER'S ADDITION TO MANITOU PARK LOCATED IN THE NE1/4 OF THE SE1/4 OF SECTION 24, T. 12 S., R. 69 W. OF THE 6th P.M., CITY OF WOODLAND PARK, TELLER COUNTY, COLORADO

KNOW ALL MEN BY THESE PRESENTS:

THAT STACKED HANDS LLC, A COLORADO LIMITED LIABILITY COMPANY, BEING THE OWNER OF THE FOLLOWING DESCRIBED PLATTED LOTS:

TO WIT:

LOTS 10, 11 AND 12, BLOCK 14, IN FOSTER'S ADDITION TO MANITOU PARK, NOW THE CITY OF WOODLAND PARK, AS RECORDED IN PLAT BOOK C, PAGE 35, OF THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER. LOCATED IN THE NORTHEAST ONE-QUARTER OF THE SOUTHEAST ONE-QUARTER (NE1/4 SE1/4) OF SECTION 24, TOWNSHIP 12 SOUTH, RANGE 69 WEST OF THE 6th P.M., CITY OF WOODLAND PARK, TELLER COUNTY, COLORADO.

SAID LOTS CONTAIN 23,640 SQUARE FEET (0.54 ACRES) OF LAND, MORE OR LESS.

DEDICATION:

THE UNDERSIGNED OWNERS HAVE CAUSED SAID LOTS TO BE REPLATTED INTO LOTS AND EASEMENTS AS SHOWN ON THE PLAT. THE UNDERSIGNED DO HEREBY GRANT UNTO THE CITY OF WOODLAND PARK THOSE EASEMENTS AS SHOWN ON THE PLAT. THE SOLE RIGHT AND AUTHORITY TO RELEASE OR CONVEY ALL OR ANY SUCH EASEMENTS SHALL REMAIN EXCLUSIVELY VESTED IN THE CITY OF WOODLAND PARK. ALL EASEMENTS SHALL RETAIN THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE OF IMPROVEMENTS. NO PERMANENT STRUCTURES EXCEPT FENCING UPON CITY APPROVAL SHALL BE ALLOWED ON ANY EASEMENT. THIS TRACT OF LAND AS HEREIN PLATTED SHALL BE KNOWN AS "FOSTER'S ADDITION FILING NO. 4" IN THE CITY OF WOODLAND PARK, TELLER COUNTY, COLORADO.

WITNESS MY HAND THIS ____ DAY OF _____, 2021.

STACKED HANDS LLC, A COLORADO LIMITED LIABILITY COMPANY

STATE OF COLORADO }
COUNTY OF TELLER } ss

THE ABOVE AND AFOREMENTIONED INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____, 2021, A.D., BY STACKED HANDS LLC, A COLORADO LIMITED LIABILITY COMPANY, OWNER OF LOTS 10, 11 AND 12, BLOCK 14 FOSTER'S ADDITION TO MANITOU PARK.

WITNESS MY HAND AND OFFICIAL SEAL:

MY COMMISSION EXPIRES: _____ NOTARY PUBLIC
(SEAL)

CERTIFICATE OF OWNERSHIP:

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED HEREIN, WHICH PROPERTY IS WITHIN THE SUBDIVISION REGULATION JURISDICTION OF THE CITY OF WOODLAND PARK, AND THAT I AUTHORIZE THIS PLAN OF LAND DIVISION.

STACKED HANDS LLC, A COLORADO LIMITED LIABILITY COMPANY

STATE OF COLORADO }
COUNTY OF TELLER } ss

THE ABOVE AND AFOREMENTIONED INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____, 2021, A.D., BY STACKED HANDS LLC, A COLORADO LIMITED LIABILITY COMPANY, OWNER OF LOTS 10, 11 AND 12, BLOCK 14 FOSTER'S ADDITION TO MANITOU PARK.

MY COMMISSION EXPIRES: _____ NOTARY PUBLIC
(SEAL)

OWNER:

STACKED HANDS LLC
300 W. SOUTH AVE.
WOODLAND PARK, CO 80863
719-426-2124

PREPARED BY:

ERIC SIMONSON, PLS
RAMPART SURVEYS, LLC
P.O. BOX 5101
WOODLAND PARK, CO 80866

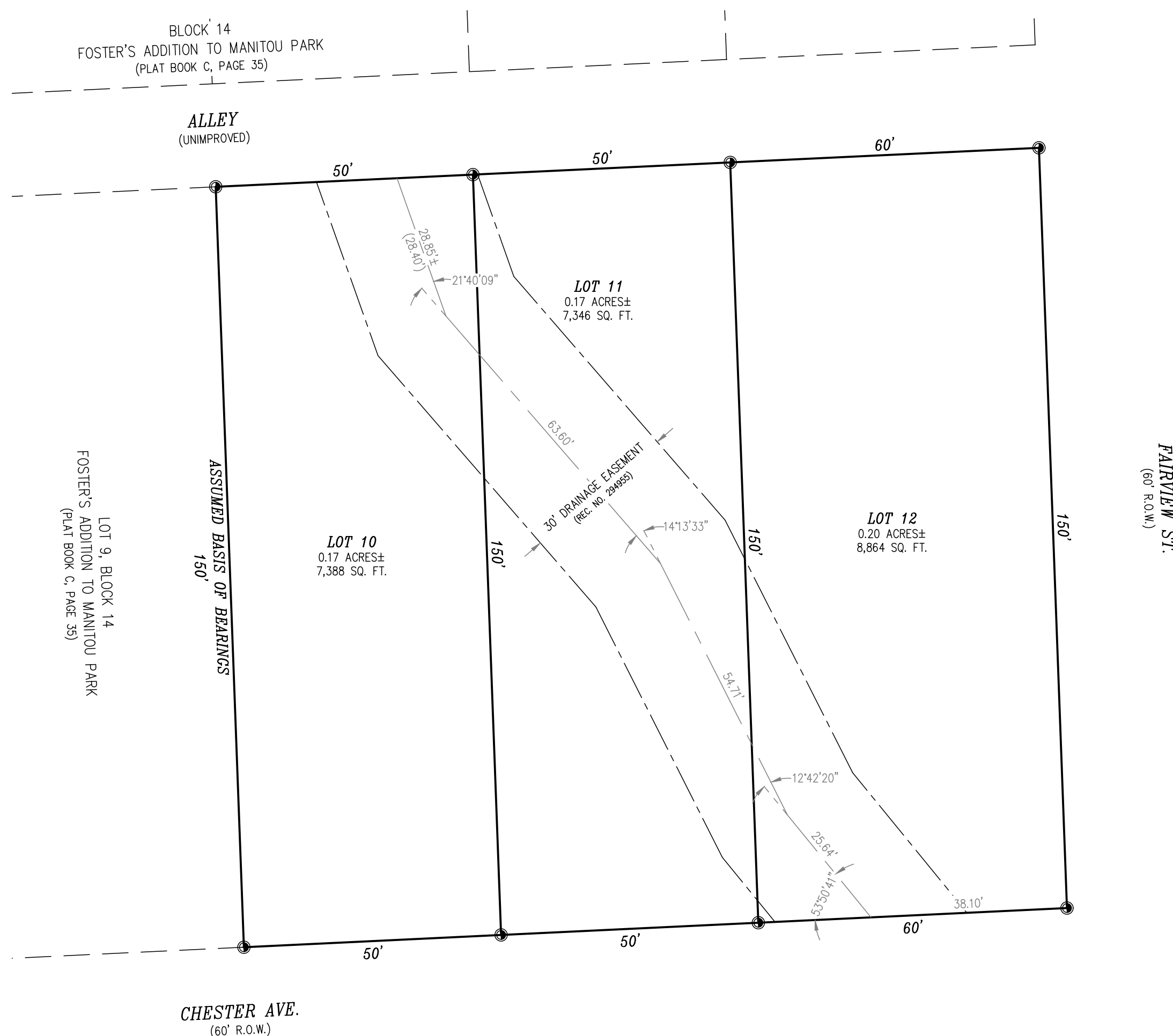
COUNTY TREASURER:

ALL TAXES ASSESSED AND DUE ON THE PROPERTY DESCRIBED ABOVE HAVE BEEN PAID IN FULL.
SIGNED THIS ____ DAY OF _____, 2021.

COUNTY TREASURER

EASEMENTS:

IN ADDITION TO THOSE SHOWN, ALL LOTS ARE HEREBY PLATTED WITH A FIVE FOOT (5') SIDE LOT LINE EASEMENT FOR PUBLIC UTILITIES AND DRAINAGE PURPOSES AND A TEN FOOT (10') REAR LOT LINE EASEMENT FOR PUBLIC UTILITIES AND DRAINAGE PURPOSES.



AS PLATTED

NOTE: ONLY PLATTED BEARINGS AND DISTANCES SHOWN

LEGEND:

- ① SET 5/8" REBAR AND ORANGE CAP STAMPED "RAMPART PLS 38560"
- ② FOUND 5/8" REBAR AND ORANGE CAP STAMPED "RAMPART PLS 38560"
- ③ FOUND REBAR AND YELLOW CAP STAMPED "6635"
- ▲ FOUND 7/8" O.D. IRON PIPE
- ☒ ROCK WALL (CHANNEL)
- (****) ADDRESS

CERTIFICATE OF APPROVAL:

IT IS HEREBY CERTIFIED THAT THE LAND DIVISION SHOWN ON THIS PLAT DOES NOT INVOLVE THE CREATION OF NEW PUBLIC STREETS OR ANY CHANGE IN EXISTING STREETS, THAT THE LAND DIVISION SHOWN IS IN ALL RESPECTS IN COMPLIANCE WITH TITLE 17 OF THE MUNICIPAL CODE OF THE CITY OF WOODLAND PARK, AND THAT THEREFORE THIS PLAT HAS BEEN APPROVED BY THE CITY PLANNER OF THE CITY OF WOODLAND PARK, SUBJECT TO ITS BEING RECORDED IN THE TELLER COUNTY REGISTRY WITHIN SIXTY (60) DAYS OF THE DATE BELOW.

DATE CITY PLANNER

DATE MAYOR

ATTEST:

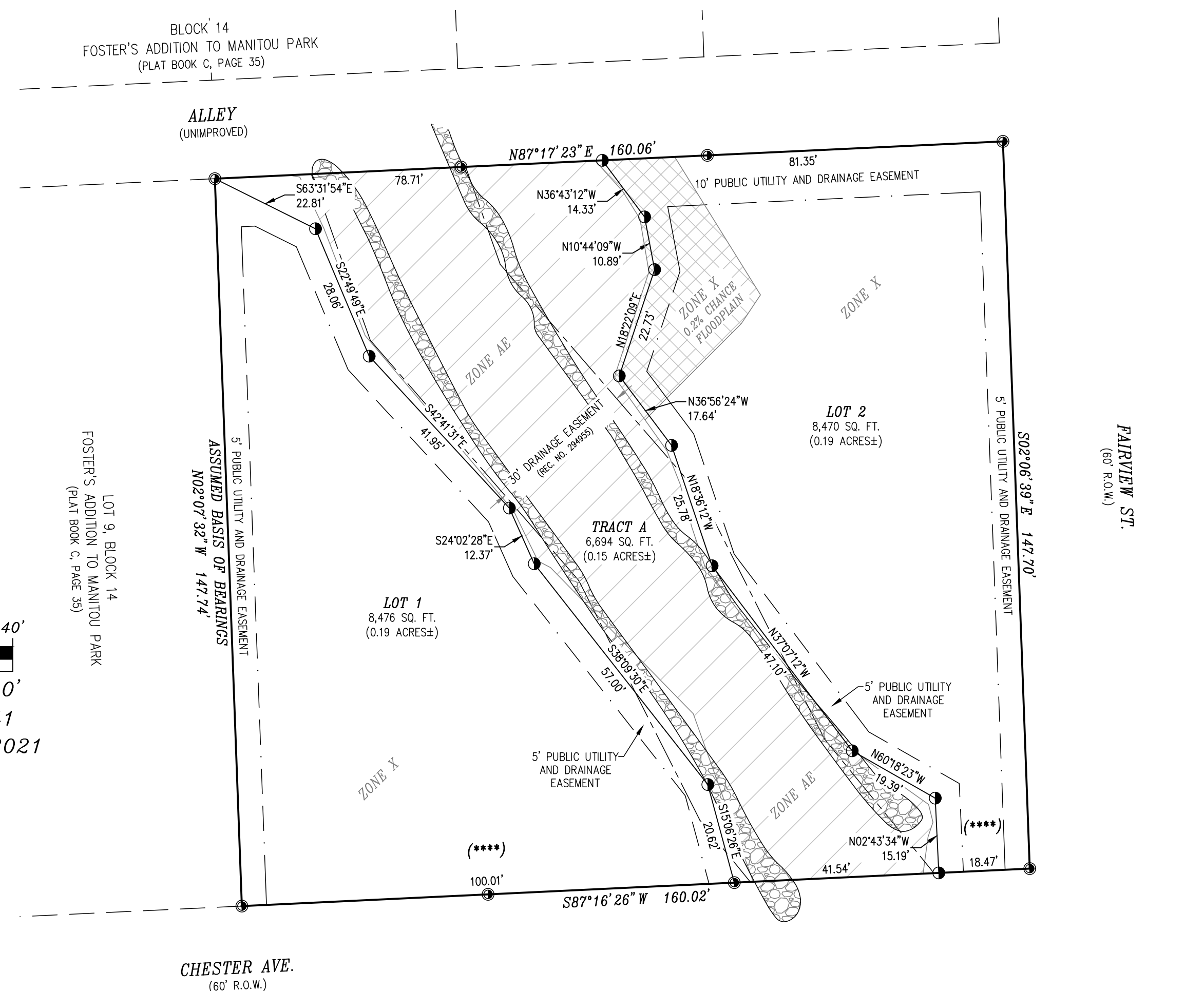
CITY CLERK

WATER AVAILABILITY DISCLAIMER:

AT THE TIME THIS PLAT IS BEING APPROVED BY THE CITY OF WOODLAND PARK, THE GROWTH REPRESENTED BY ITS BUILD-OUT IS COMPATIBLE WITH THE CITY'S MASTER PLAN. THE CITY IS IN THE PROCESS OF DEVELOPING WATER SUPPLIES, WHICH ARE SUFFICIENT TO SERVE THE CITY IN ACCORDANCE WITH THE MASTER PLAN. HOWEVER, BECAUSE WATER DEVELOPMENT IS ONLY PARTIALLY WITHIN THE CITY'S CONTROL, THE CITY CANNOT RESERVE WATER FOR SPECIFIC LANDS AND CANNOT GUARANTEE THAT WATER TAPS WILL BE AVAILABLE FOR ANY SPECIFIC PROPERTY AT ANY FUTURE DATE INCLUDING ANY LOTS IN THIS PLAT.

NOTES:

- ALL BEARINGS USED HEREIN ARE BASED UPON AN ASSUMED BEARING OF N02°07'32"W, A DISTANCE OF 147.74 FEET (150 FEET PER THE RECORDED PLAT) BETWEEN THE NORTHWEST CORNER OF LOT 10, BLOCK 14, FOSTER'S ADDITION TO MANITOU PARK, AS RECORDED IN BOOK C AT PAGE 35 OF THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER, AS MONUMENTED BY A 5/8" REBAR AND ORANGE CAP STAMPED "RAMPART LS 38560", AND THE SOUTHWEST CORNER OF SAID LOT 10, AS MONUMENTED BY A 5/8" REBAR AND ORANGE CAP STAMPED "RAMPART LS 38560".
- ALL DISTANCES SHOWN BETWEEN EXISTING MONUMENTS REFLECT ACTUAL DIMENSIONS AS MEASURED. IF THE ACTUAL DIMENSION DIFFERS FROM THE PLATTED DIMENSION, THE PLATTED DIMENSION IS DENOTED WITH A "P=".
- NO STRUCTURES OR FENCES ARE PERMITTED WITHIN DESIGNATED "FLOODPLAIN" AREAS. THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP NO. 0819C0206D (REVISED TO REFLECT LOMR CASE NO. 09-08-0500P, EFFECTIVE MARCH 11, 2010) INDICATES A PORTION OF THIS PARCEL OF LAND TO BE LOCATED IN ZONE X SHADED (AREAS OF 0.2% ANNUAL CHANCE OF FLOOD), ZONE AE (BASE FLOOD ELEVATIONS DETERMINED), AND FLOODWAY AREAS IN ZONE AE (THE FLOODWAY IS THE CHANNEL OF A STREAM PLUS ANY ADJACENT FLOODPLAIN AREAS THAT MUST BE KEPT FREE OF ENCOACHMENT SO THAT THE 1% ANNUAL CHANCE FLOOD CAN BE CARRIED WITHOUT SUBSTANTIAL INCREASES IN FLOOD HEIGHTS). THE ENTIRETY OF THE REGULATED ZONE AE FLOODPLAIN WILL BE CONTAINED IN TRACT A TO BE CONVEYED TO THE CITY OF WOODLAND PARK.
- THIS PLAT DOES NOT CONSTITUTE A TITLE SEARCH BY RAMPART SURVEYS FOR EITHER OWNERSHIP OR EASEMENTS OF RECORD. FOR EASEMENTS OF RECORD SHOWN HEREON RAMPART SURVEYS RELIED UPON A COMMITMENT FOR TITLE INSURANCE ISSUED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, ORDER NO. F0710609-310-WP (COMMITMENT DATE: APRIL 30, 2021) AS PROVIDED TO RAMPART SURVEYS BY THE CLIENT. NO OTHER EASEMENTS OF RECORD ARE SHOWN EXCEPT AS FOUND THEREIN. THE NUMBERS USED BELOW CORRESPOND WITH THE NUMBERS USED IN SCHEDULE B PART II - EXCEPTIONS:
 7. & 9. STANDARD EXCEPTIONS, RAMPART SURVEYS DID NOT ADDRESS THESE ITEMS.
 - THE PROPERTY IS SUBJECT TO TERMS, CONDITIONS, PROVISIONS, EASEMENT, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE EASEMENT AS SET FORTH BELOW:
RECORDING DATE: JULY 20, 1981
RECORDING NO.: 294955
 - ALL LINEAL UNITS DEPICTED ON THIS FINAL PLAT ARE U.S. SURVEY FEET.
 - TRACT A HAS BEEN DEDICATED TO THE CITY OF WOODLAND PARK FOR ADDITION PUBLIC USE OF DRAINAGE AND UTILITIES.
 - SHOWN BOUNDARIES ARE DERIVED FROM A LAND SURVEY PLAT BY RAMPART SURVEYS, LLC OF LOTS 7-12, BLOCK 14, FOSTER'S ADDITION TO MANITOU PARK, RECORDED UNDER RECEPTION NUMBER _____ OF THE RECORDS OF TELLER COUNTY, COLORADO.



AS REPLATTED

NOTE: ONLY MEASURED BEARINGS AND DISTANCES SHOWN

SURVEYOR'S CERTIFICATION:

THE UNDERSIGNED REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, HEREBY CERTIFIES THAT THE ACCOMPANYING PLAT WAS SURVEYED AND DRAWN UNDER HIS SUPERVISION AND ACCURATELY SHOWS THE DESCRIBED TRACT OF LAND, AND SUBDIVISION THEREOF, AND THAT THE REQUIREMENTS OF TITLE 38 OF THE COLORADO REVISED STATUTES, 1973, AS AMENDED, HAVE BEEN MET TO THE BEST OF HIS PROFESSIONAL KNOWLEDGE AND BELIEF.

ERIC SIMONSON
COLORADO PROFESSIONAL LAND SURVEYOR NO. 38560
FOR AND ON BEHALF OF RAMPART SURVEYS, LLC

NOTICE:

ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

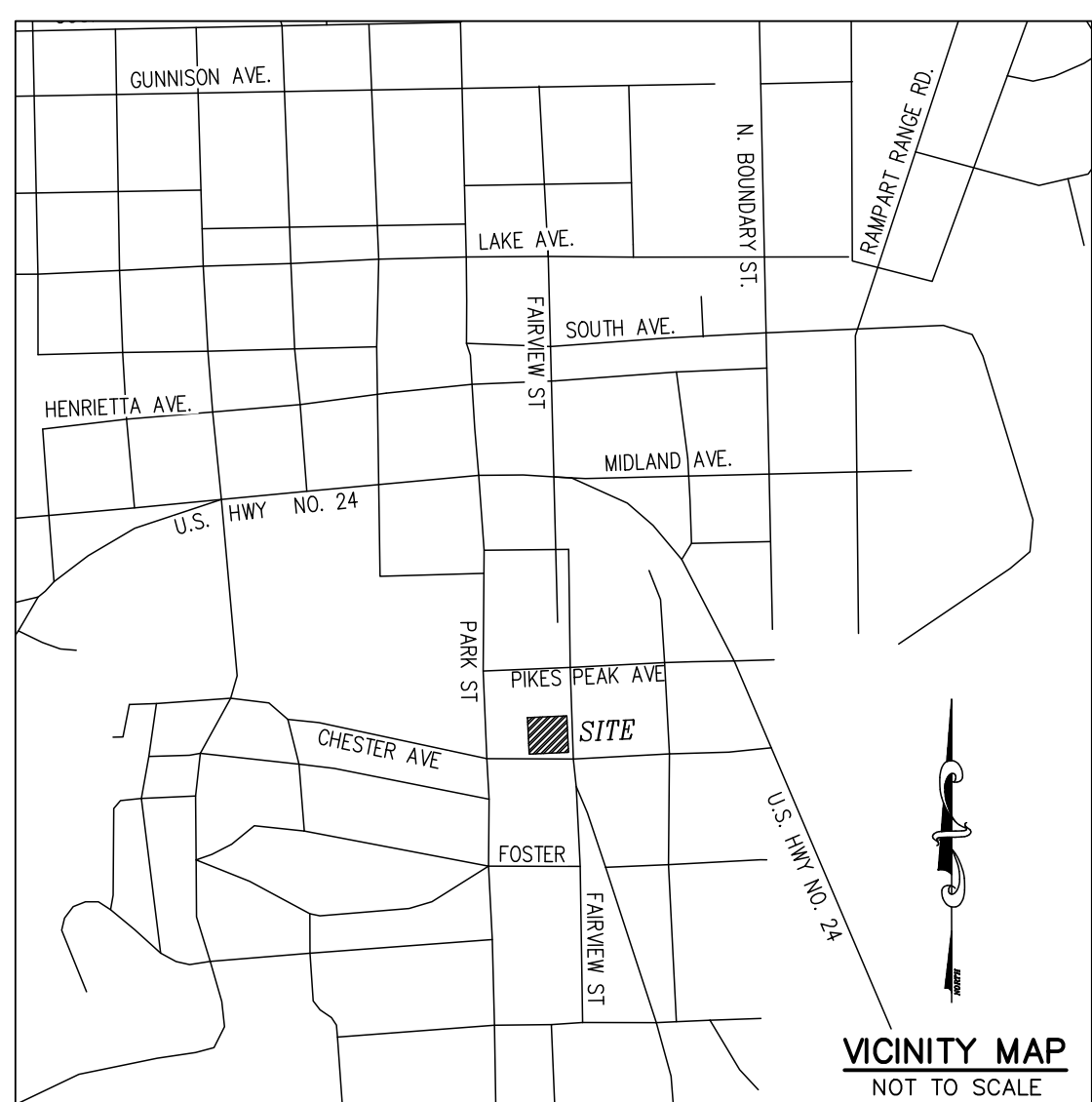
RECORDING:

STATE OF COLORADO }
COUNTY OF TELLER } ss

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD IN MY OFFICE AT ____ O'CLOCK ____ M., THIS ____ DAY OF _____, 2021, A.D., AND IS DULY RECORDED UNDER RECEPTION NUMBER _____ OF THE RECORDS OF TELLER COUNTY, COLORADO.

FEE: _____

BY: _____
TELLER COUNTY CLERK AND RECORDER



FOSTER'S ADDITION FIL. NO. 4 - NE1/4 SE1/4 OF SEC. 24, T12S, R69W OF THE 6th P.M., WOODLAND PARK, TELLER COUNTY, COLORADO

RAMPART
SURVEYS, LLC

P.O. Box 5101 Woodland Park, CO. 80866 (719) 687-0920

DWG: 21441RP.DWG

PAGE 1 OF 1