



PUBLIC NOTICE
WOODLAND PARK PLANNING COMMISSION
Thursday, August 25, 2022, 6:30 P.M.
Council Chambers – 220 W. South Avenue
Woodland Park, Colorado
AGENDA

Zoom link from the calendar at the bottom of the front page of the City website (www.city-woodlandpark.org). Public input is important to the Planning Commission and comments are encouraged in writing in advance.

- 1. CALL TO ORDER & ROLL**
- 2. PLEDGE OF ALLEGIANCE**
- 3. APPROVE MINUTES: August 11, 2022**
- 4. PUBLIC HEARINGS**

A. SUB2022-04 Pines at Tamarac Preliminary Plat Extension: A request by David Garretson (Applicant & Property Owner) for a 1-year extension of the previously approved Pines at Tamarac Preliminary Plat for residential development on 20.61 acres on Lot 2, Block 1, Dayspring Christian Fellowship (205 Sourdough Road) in the Pines at Tamarac PUD zone district. **(QJ)**

- 5. REPORTS**
- 6. ADJOURN**

For more information, please contact the Planning Department 719.687.5283

WOODLAND PARK PLANNING COMMISSION
MEETING MINUTES for August 11, 2022
Council Chambers, 220 W South Avenue, Woodland Park

This meeting was a hybrid meeting with in-person and virtual attendance. The Zoom meeting link is in the calendar on the City website front page. Public input is very important to the Planning Commission. Comments were encouraged in writing in advance of the meeting to be submitted by mail to the Planning Department at PO Box 9007, Woodland Park, CO, 80866 or email to kschminke@city-woodlandpark.org.

1. CALL TO ORDER & ROLL:

Chair Ken Hartsfield called the meeting to order at 6:30 pm.

Present	Commissioner Hartsfield
Present	Commissioner Lee Brown
Present	Commissioner Carrol Harvey
Present	Commissioner Kenneth Kennedy
Present	Commissioner Larry Larsen
Present	Commissioner Shawn Nielsen
Staff Present:	Planning Director Karen Schminke, Planner 1 David Burgess, and Senior Planner Will Charles.

2. PLEDGE OF ALLEGIANCE

3. APPROVE MINUTES: The June 21, 2022 minutes were approved 5-0 vote with Commissioner Larsen abstaining.

4. PUBLIC HEARINGS

A. VAC2022-01 Vacate a portion of the 50' Public Right-Of-Way located on Lot 1A, The Homes at Brecken Heights (500 Brecken Court) as requested by Mark McNab (Applicant and Property Owner) in the Multi-Family Suburban (MFS) zone. (QJ)

Hartsfield opened and closed the public hearing and asked for the staff report. Director Schminke introduced Will Charles, a planner with a private company the City has contracted with for planning services since we have yet to successfully recruit a new staff senior planner.

Mr. Charles presented the staff report providing an overview of the location, current site conditions, and the final plat that has already been approved. He highlighted the area to be vacated, which falls within Lot 1 A, and the remaining right-of-way that overlaps with the recently platted Brecken Court right-of-way. He reviewed the vacation criteria from Code section 12.08 and recommended the Commission forward Ordinance No. 1428 to City Council with a recommendation of approval.

Director Schminke provided additional clarification regarding technical corrections within the proposed Ordinance to accurately reflect the correct legal description for the land under discussion.

Commission members sought clarification regarding the need for this vacation, traffic patterns in the area, and transfer of title to the land.

Dianna Hartnet, assistant to Mark McNab, owner of Brecken Heights LLC, provided additional information regarding the current construction and how the final constructed Brecken Court will appear. She also confirmed there will be 16 buildings/32 dwellings and a full traffic analysis was done with the previous subdivision approval process.

Chair Hartfield called for public comments. With no one wishing to speak, the public hearing was closed.

During discussion, Commission members noted this application is largely for clean-up purposes and had no issues with the request.

Commissioner Larsen moved, and Commissioner Brown seconded, that the Planning Commission approve VAC2022-01 to vacate approximately 1,000 sq.ft. of Alpine Meadows Drive ROW to Brecken Heights LLC to be included in Lot 1A of The Homes at Brecken Heights.

Commissioner Harvey obtained clarification that the corrected Ordinance will be sent to City Council.

**YES: Larsen, Brown, Nielsen, Hartsfield, Harvey, and Kennedy.
Motion PASSES 6-0.**

5. **REPORTS:** Director Schminke informed the Planning Commission of the following upcoming meeting dates:

August 18, 2022 @ 5:00 PM – Joint work session with City Council regarding short term rentals.

August 25, 2022 @ 6:30 PM – Regular meeting with one item on the agenda.

September 8, 2022 – No meeting.

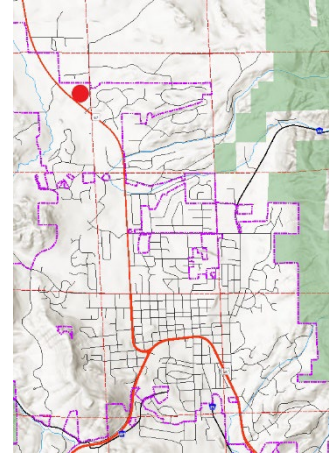
6. **ADJOURN:** The meeting was adjourned at 6:55 pm.

Approved this _____ day of _____, 2022 by

Ken Hartsfield, Chair

STAFF REPORT

PROJECT: SUB2022-04
APPLICANT: David Garretson
REQUEST: 1 year extension to The Pines at Tamarac Preliminary Plat.
LOCATION: 205 Sourdough Road. Closest major intersection is SH 67 and Fairfield Ln.
ZONE: Planned Unit Development (PUD)
STAFF: Will Charles, Senior Planner



I. PROPOSAL

The applicant is requesting a 1-year extension of the approved Pines at Tamarac Preliminary Plat for residential development on 20.61 acres on Lot 2, Block 1, Dayspring Christian Fellowship (205 Sourdough Road) in the Pines at Tamarac PUD zone district.

II. Background

On July 18, 2019 City Council approved both a PUD and a Preliminary Plat (PUD#19-001 & SUB#19-005) for a 26-lot detached single family residential development on 20.61 acres known as the Pines At Tamarac. This initial approval was good for two years. In May 2021, consistent with what is allowed by City Code, a two-year extension of the PUD (§18.30.050) was granted to July 18, 2023 and a one-year extension of the preliminary plat (§17.20.090) was granted until July 18, 2022.

On July 11, 2022 the applicant submitted a request to extend the preliminary plat approval for another year until July 18, 2023. Since this request came in before the expiration of the plat, it is still eligible to receive an extension and be considered active. §17.20.090 grants planning commission the authority to extend preliminary plats by up to 1 year at a time.

Construction of this project is still anticipated, and no changes have been made to the original plans. When completed, the project will contain 26 dwelling units over 20.61 acres for a density of 1.26 dwelling units per acre. All units will be single family residential, and accessed off of 3 newly created rights-of-way (Chardonnay Rd, Zinfandel Rd, and Cabernet Way).

III. Staff Findings

Staff believes that it is reasonable to extend the preliminary plat for an additional year. This preliminary plat was approved alongside a PUD that is still active. By code a preliminary plat can only be extended by 1 year at a time, while PUDs can be extended for 2 years. For this reason, the PUD is still active until July 18, 2023, while the Plat expiration date was on July 18, 2022. Granting this extension would have both the Preliminary Plat and PUD expire on the same date. Additionally, all conditions as originally approved will also be extended and would still be in effect and apply.

STAFF REPORT

IV. Staff Recommendation

Staff recommends approval of a 1-year extension of the Pines at Tamarac Preliminary Plat to July 18, 2023.

Attachments

1. Application
2. Approved Pines at Tamarac PUD Master Plan & Preliminary Plat (combined)

Planning Application Entry Form

Print Record



Go To Development Fees Receipt Form



ID

Permit Number 202207196

Project # EXT/Case # SUB2022-04

Development Case ☐

Date Received 7/11/2022

Date Routed 7/15/2022

Date Initial Permit Approved

*Date Permit Paid 7/11/2022

Open Permit Comments

*NOTE: If Non-profit enter Date Approved in Date Permit Paid field for report

Project Type SUB

Project Type Number 5

Project Classification Extension

Non-Profit, Residential or Commercial Residential

Date CO Requested

Temp CO Auth Approved

Date Temp CO Expires

NOTE: Above Field required only for SINS and TUPs

Project Name Pines at Tamarac - Prelim. PI

Site Address Number 205

Site Address Name Sourdough Road

Lot Number 2

Block Number

Subdivision Dayspring Christian F

Filing #

Applicant Business Name

App First Name David

App Last Name Garretson

App Phone Number 805-610-2177

PO Box

Mailing Address Street # 315

Mailing Address Street Name Oldham Road

City Hartsville

State TN

Zip Code 37074

Owner First Name Pines at Tamarac LL

Owner Last Name

Zone Class PUD

Applicant Project Value \$0.00

UTILITIES SECTION

Tap Allocation Date

Allocation Exp Date

Water Tap #

Sewer Tap #

Tap Paid Date

Tap Exp Date

Taps Refunded ☐

Inside/Outside User

Meter Installed ☐

Filed in Area

Planner Office

City of Woodland Park

Planning Department Routing/Comment Form

Print
Record



ID	Project Name	Pines at Tamarac - Prelim. Plat Extension	Project # EXT/Case #: SUB2022-0
Permit Number	202207196	Site Address Number	205
Date Received:	7/11/2022	Site Address Name	Sourdough Road
Project Type	SUB	Lot Number	2
Project Type Number	5	Block #	
Project Classification	Extension	Subdivision	Dayspring Christian Fe
Residential or Commercial	Residential	Filing #	
		App Phone	805-610-2177
	Applicant Business Name		
	App First Name	David	App Last Name
		Garretson	

ZDP Required ☒	Public Review Required ☒	Lead Staff Person	Karen Schminke
Board of Adjustment Date		Date Routed	7/15/2022
Planning Commission Date	8/25/2022	Comments Due Back to Planning	7/29/2022
City Council (1st Reading)		Comments Rec'd ☐	Filed in Area:
City Council (Public Hearing)			Planner Office

Comments Received

City Manager	☐	Building Dept	☐
City Clerk	☐	Fire District	☐
City Attorney	☐	Re-2	☐
Utilities Department	☒	URS	☐
City Engineer	☒	IREA	☐
City Inspector	☒	Black Hills	☐
Finance Department	☐	CDOT	☐
Planning Director	☒	CenturyLink	☐
City Planner	☒	TDS Telecom	☐
Police	☐	Other:	☒
Parks & Rec	☒		
Economic Development	☐		

Important Information

Administrator
Routing Instructions:



2022 GENERAL APPLICATION

(Revised 1/1/2022)

Project # 202207196
Case # SUB2022-04
Fee(s): See City of Woodland Park
Fees Sheet (Plus publication/recording
fees, as applicable)

(Pd.) \$113.00 check #01037
7/11/2022
(PUD expires 7/18/2023 AW)

Type of Application (Check one or more as applicable)

- | | | |
|--|---|---|
| ☐ Site Plan Review Permitted Use | ☐ Special Use Permit | ☐ Preliminary Plat |
| ☐ Site Plan Review Conditional Use | ☐ Planned Unit Development (PUD) | ☐ Exemption Plat |
| ☐ Conditional Use Permit | ☐ PUD Amendment | ☐ Final Plat |
| ☐ Zoning Change | ☐ Appeal | ☐ Townhouse Plat |
| ☒ Extension of Development | ☐ Variance | ☐ Condominium Plat |

1. Applicant Information

- a. Applicant Name David Garretson
- b. Project Coordinator ☐ Property Owner ☒
- c. Mailing Address 315 Oldham Rd., Hartsville, TN 37074
- d. E-mail Address freeborne123@gmail.com
- e. Phone Numbers Home 805-610-2177 Work _____ Mobile _____

2. Property Owner Information (if different from above)

- a. Name _____ Project Contact? Yes ☐ No ☐
- b. Mailing Address _____
- c. E-mail Address _____
- d. Phone Numbers Home _____ Work _____ Mobile _____

3. Site Information

- a. Site Address 205 Sourdough Rd.
- b. Lot 2 Block 1 Subdivision Dayspring Christian Fellowship
- c. Property Zoning PUD Lot Size 20.61 Acres ☒ Square Feet ☐

4. Is the property subject to covenants? Yes ☐ No ☒ If yes, then submit copy of covenants and current contact for HOA. It is the responsibility of the landowner to submit HOA approval with this application.

5. Project Information

- a. Project Name Pines @ Tamarac (PUD master plan and preliminary plat)
- b. Brief Description of Project/Request Two year extension of development of the approved PUD master plan per code section 18.30.050 (i) year extension 17.20.080. Originally approved June 13, 2019.

Project Narrative (On a separate sheet provide additional project details and how the proposal complies with the applicable code requirements, which can be found in Section 8 of this application.)

5. Consultant Information (if applicable)

a. Architect

- i. Project Contact _____
- ii. Firm Name _____
- iii. Physical Address _____
- iv. Mailing Address _____
- v. E-mail Address _____
- vi. Phone Numbers: Business _____ Mobile _____

b. Engineer

- i. Project Contact John P. Schwab
- ii. Firm Name JPS Engineering
- iii. Physical Address 19 E. Willamette Ave, Colo Spr 80903
- iv. Mailing Address 19 E. Willamette Ave, Colorado Springs 80903
- v. E-mail Address john@jps engr.com
- vi. Phone Numbers: Business 719-477-9429 Mobile _____

c. Planner

- i. Project Contact Raimere Fitzpatrick
- ii. Firm Name Kimley - Horn
- iii. Physical Address 2 N. Nevada Ave., Suite 300, Colorado Springs 80893
- iv. Mailing Address 2 N. Nevada Ave, Suite 300, Colo Spr, CO 80893
- v. E-mail Address raimere.fitzpatrick@kimley-horn.com
- vi. Phone Numbers: Business 719-284-7299 Mobile _____

d. Surveyor

- i. Project Contact Kevin Lloyd
- ii. Firm Name Rampart Surveys, LLC
- iii. Physical Address 1050 Tamarac Parkway, Woodland Park, CO 80863
- iv. Mailing Address PO Box 5101, Woodland Park, CO 80866
- v. E-mail Address kevin@rampartis.com
- vi. Phone Numbers: Business 719-687-0920 Mobile _____

e. Other (specify role) _____

- i. Project Contact _____
- ii. Firm Name _____
- iii. Physical Address _____
- iv. Mailing Address _____
- v. E-mail Address _____
- vi. Phone Numbers: Business _____ Mobile _____

6. Submittal Requirements

The following items must be included at time of submittal (in addition to items on the submittal checklists) or the application will not be processed (additional copies may be requested).

Type of Application	24" x 36" Plan Set	11" x 17" Plan Set	Adobe Acrobat Portable Document Format (.pdf) electronic Plan Set on a flash drive	Warranty Deed or Title Policy	List of adjoining property owners within 150'	Copies of reports (narrative, traffic study, drainage, etc.)
All Types	1	1	1	1	1	1

7. Applicable Code Sections

The following are the applicable code sections by type of application and are for assisting applicants in completing the required project narrative. The City of Woodland Park's Municipal Code can be found at www.city-woodlandpark.org/Charter&Code. Subdivision requirements are in Title 17 and Zoning is in Title 18 of the Municipal Code.

Type of Application	Applicable Code Sections
Site Plan Review Permitted Use	Chapters 18.34, 18.33 and 18.39
Site Plan Review Conditional Use	Chapters 18.34, 18.57, 18.33 and 18.39
Conditional Use Permit	Chapter 18.57 plus applicable site plan regulations
Zoning Change	There are no specific standards, but the applicant should provide supporting argument for a zoning change, including how it complies with the Comprehensive Plan
Special Use Permit	Chapter 18.61 plus applicable site plan regulations
Planned Unit Development	Chapters 18.30, 18.33, 18.39, Sections 17.20.070, and 17.20.080
Appeal	Chapter 18.54
Variance	Chapter 18.60
Preliminary Plat	Chapter 17.20 plus applicable subdivision sections
Exemption Plat	Section 17.52.030 plus applicable subdivision sections
Final Plat	Chapter 17.24 plus applicable subdivision sections
Townhouse Plat	Chapter 17.32 plus applicable subdivision sections
Condominium Plat	Chapter 17.32 plus applicable subdivision sections

8. Certification of Ownership

I (We) do hereby declare and affirm that I (we) am (are) the exclusive owner(s) and title holder(s) of the above described property.

→  7/11/22
Owner Date

→  7/11/22
Owner Date

9. Certification: The undersigned applicant certifies under oath and under penalties of perjury that the information found in the application is true and accurate to the best of their knowledge.

I certify that I understand that the proposed development is in accordance with all provisions of the City of Woodland Park's Municipal Code and other applicable regulations.

→  7/11/22
Applicant Date



Teller County Government

The Official Site For Teller County, Colorado

Property Records Database

[Teller Home](#)
[County Offices](#)
[Contributing Offices](#)
[New Search](#)
[Mapping Application](#)
[Foreclosures](#)

Property Record Database

Account Information (provided by Assessor)

Account No R0053721

Parcel Id 6229.111010060

Notice of Value [A PDF of the 2021 Notice of Value](#)

Actual \$561,607

Assessed \$162,870

Tax Dist 62

Acct Type Vacant Land

School Dist RE-2

Acres 20.6100

Map No. 3029-11

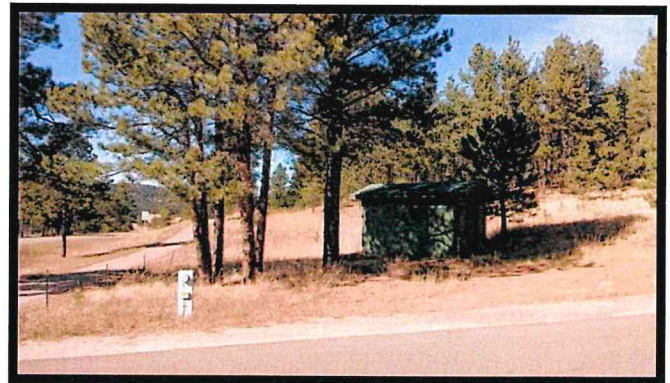
Owner Name PINES AT TAMARAC LLC

Mailing 6465 GOOD FORTUNE RD

Address PEYTON, CO 808317657

Physical Address 205 SOURDOUGH RD

Area DAYSPRING CHRISTIAN
FELLOWSHIP



Brief Legal Desc L2 DAYSPRING CHRISTIAN FELLOWSHIP

Brief Legal Description is not intended for use on legal documents

[Show Map](#)

[Show Sales Map](#) [Vacant Land Sales List](#)

Zoning Information (provided by City of Woodland Park for Questions call 719-687-5202)

Zoning PUD

Land Information (provided by Assessor)

Land Type	Abst Code	Acres
Vacant	0100	20.6100
TOTAL		20.6100

Transfers (provided by Assessor)[Vacant Land Sales List](#)

Sale Date	Reception No	Deed Type	Sale Price
02/18/2014	670413	Easement	\$0
10/07/2015	683279	Warranty Deed	\$425,000
10/16/2015	1420	Survey	\$0
04/12/2019	714979	Special Warranty Deed	\$650,000
07/01/2019	717235	Warranty Deed	\$0

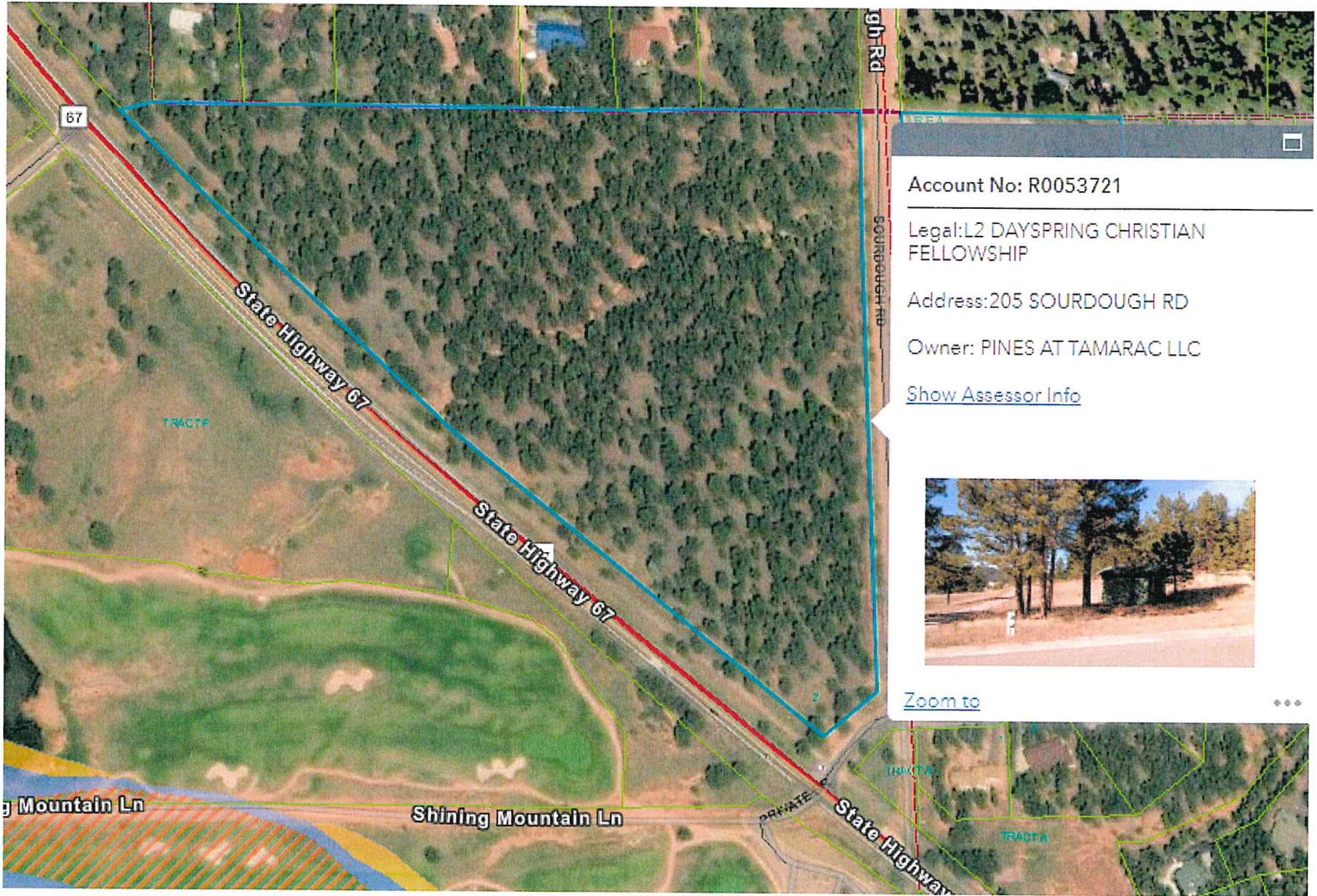
Property Tax History (provided by Treasurer). Delinquent taxes are not shown on this website.

[Tax detail on Treasurers Web Site \(Note: Select Public User Login Button if prompted\)](#)

Tax Year	Tax Amount
2017	\$9,916.24
2018	\$9,899.84
2019	\$10,146.54
2020	\$10,216.36
2021	\$13,169.18

This information is updated daily and is as current and accurate as is practical, but it is not official. You may use this data at your own risk. If you have any questions about this data please call the Assessor's Office at (719)689-2941. Zoning Designations may not be accurate. Please call the Teller County Planning Department at (719)687-3048 for information on Zoning in Teller County

E-Mail suggestions or comments to [WebDeveloper](#)
07/14/2022 04:27:39 PM



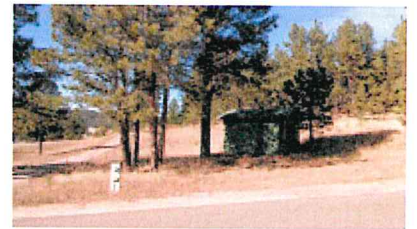
Account No: R0053721

Legal: L2 DAYSPRING CHRISTIAN
FELLOWSHIP

Address: 205 SOURDOUGH RD

Owner: PINES AT TAMARAC LLC

[Show Assessor Info](#)



[Zoom to](#)

City of Woodland Park Development Fees Receipt

Print
Record

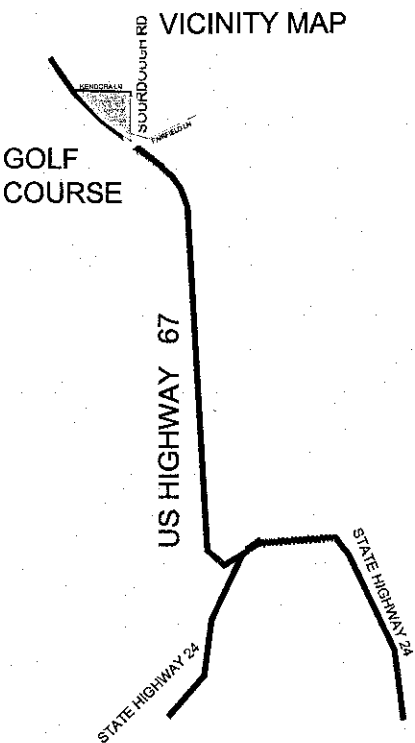


ID
Project # 202207196 Project Name Pines at Tamarac - Prelim. Plat Extension
Site Address # 205 Site Address Sourdough Road
Project # EXT/Case # SUB2022-04 Lot # 2 Block # Subdivision Dayspring Christian Fellowsh
Date Initial Permit Approved Filing #
Project Type SUB Applicant Business Name
Project Type Number 5 App First Name David App Last Name Garretson
Project Classification Extension Filed in Area: Planner Office
Residential or Commercial Residential

Building Fees	\$0.00	Account Number 100-000-3433 PPRBD Building Fees
Regional Park Fee	\$0.00	Account Number 100-000-3651
Water Plant Investment Fee	\$0.00	Account Number 510-343-3465
Water Physical Connection	\$0.00	Account Number 510-342-3462
Sewer Plant Investment Fee	\$0.00	Account Number 520-348-3475
Sewer Physical Connection	\$0.00	Account Number 520-347-3472
Water Right Fee	\$0.00	Account Number 510-344-3468 WATER Rights Fees
Reimbursement Agreement	\$0.00	Account Number 520-000-1920
Stormwater Capital Fee	\$0.00	Account Number 420-000-3486
Transportation Capital Fee	\$0.00	Account Number 410-000-3654
Water Development Fee	\$0.00	Account Number 510-343-3467
Zoning Development Permit Fee	\$113.00	Account Number 100-000-3431
Other Fees	\$0.00	Account Number
Description of Other Fees		
Use Tax Fee	\$0.00	Account Number 100-000-3142
Total Amount Due	\$113.00	Date Permit Paid: 7/11/2022

Amount Receiv \$113.00 Rec'd By DB Date Payment Received 7/11/2022 Check # 01037

Pines at Tamarac PUD PRELIMINARY PLAT



OWNER/ DEVELOPER:
THE PINES AT TAMARAC
6465 GOOD FORTUNE RD
PEYTON, CO 80831
(805)-610-2177

APPLICANT:
THOMAS + THOMAS PLANNING, URBAN
DESIGN, LANDSCAPE ARCHITECTURE
702 N. TEJON ST.
COLORADO SPRINGS, CO 80903
(719)-578-8777

SURVEYOR:
KEVIN LLOYD
RAMPART SURVEYS, LLC
P.O. BOX 5101
WOODLAND PARK, CO 80866
(719)-687-0920

LEGAL DESCRIPTION

Lot 2, Dayspring Christian Fellowship

PUD DEVELOPMENT STANDARDS

- OPEN SPACE:**
- 24.5 % of the 20.61-acre Pines Tamarac (5.05 acres) is set aside and/or preserved as open space as Tracts A - D. Proposed open space includes open space and drainage tracts. Planned pedestrian paths are planned for the site. Open space has been provided in excess of the required 15 % gross development area.
- RESIDENTIAL USE & DIMENSIONAL STANDARDS:**
- The maximum density in the Pines at Tamarac shall not exceed 1.28 DU/ gross acre (26 DU Max).
 - There shall only be one (1) Principal (primary) use of Single-Family Residence conducted on a lot. Guest houses and/or accessory dwelling units shall not be permitted. Home occupations are subject to permitting by City of Woodland Park.
 - Allowed Uses Include: Single Family Residential, mail kiosks, trail corridors, development signage, pedestrian walkways, accent fencing, utilities, stormwater facilities, drainage improvements, open space and landscape improvements.
 - Minimum Lot Area: 16,000 Square Feet. Minimum lot sizes are established per lot as depicted on the plan; however, no lot shall be created and/or amended, replatted, or portions thereof conveyed which will reduce the lot area below the minimum 16,000 SF lot area.
 - Maximum Impervious Coverage: A maximum 30% gross total lot area may be impervious. The area of at grade patios and walks and/or paths shall not be counted toward impervious coverage. Driveways shall be included in the maximum impervious area calculation.
 - Maximum Structural Height: Thirty-five Feet (35').
 - Minimum Width of Lot at Front Building Setback Line: Forty Feet (40') or as otherwise depicted by the PUD.
 - Setback Requirements: (see detail for typical lot/yard orientation)
 - Front yard: Twenty-five Feet (25')
 - Rear yard: Twenty-five Feet (25')
 - Side yard: Eight Feet (8')
 - Side yard(s) adjacent to road or street rights-of-way: Fifteen Feet (15')
 - Projections into side yard setbacks: Eaves and window wells, fascia, soffit, and related features and/or appurtenance may project a maximum of two (2) feet into an adjacent yard setback.
 - Parking: each lot shall provide a minimum of two on-site parking spaces. Spaces may be provided via garage and/or onsite via private driveway. On street parking shall be subject to the provisions of the City of Woodland Park and/or future Pines at Tamarac Home Owners Association.
 - This PUD contains a five foot (5') variance from Section 17.40.140 (Minimum ROW width from 50' to 45' for local w/curb and gutter)
 - Wildfire Mitigation: See sheet L1 and mitigation plan. Plan to be recorded with final plat
 - City Council may waive transportation capital fee in lieu of roadway improvements to Sourdough Road.

DEVELOPMENT SCHEDULE

Development is planned to occur during the fall of 2019 subject to final plat approval and development authorization by the City of Woodland Park.

IMPROVEMENTS

All tracts for open space, landscape, pedestrian paths and trails, and stormwater detention pond facilities including, but not limited to water quality ponds, are to be owned and maintained by the Pines at Tamarac Home Owners Association and delegated agents, or other entity approved by the City of Woodland Park. All roads will be dedicated to the City of Woodland Park for public ownership and maintenance.

Curb and gutter, pedestrian ramps, driveway plans, etc. to be as illustrated on the PUD development plan subject to final review with final grading and construction plans.

OWNERSHIP & MAINTENANCE

A homeowners association (Pines at Tamarac HOA) will be formed for the purposes of owning and maintaining common elements and associated improvements and appurtenance within the Pines at Tamarac PUD and subsequent final plat. Documentation of HOA formation and authorities will be provided for review with the associated final plat for the Pines at Tamarac.

UTILITIES

Water and wastewater is planned to be provided via service connection with the city of Woodland Park Utilities subject to compliance with permitting requirements. Electric service will be provided by Intermountain Rural Electric Association (IREA). Natural gas will be provided by Black Hills Energy. The front yards of all lots shall be platted with a 15' public utility easement, as depicted on the typical lot detail.

STORMWATER RUNOFF

Development of the proposed subdivision project will include site grading, utilities, residential construction, and related site improvements. The general concept for management of on-site developed storm runoff is to route developed flows through an on-site stormwater detention facility to mitigate the impact of developed drainage from the site.

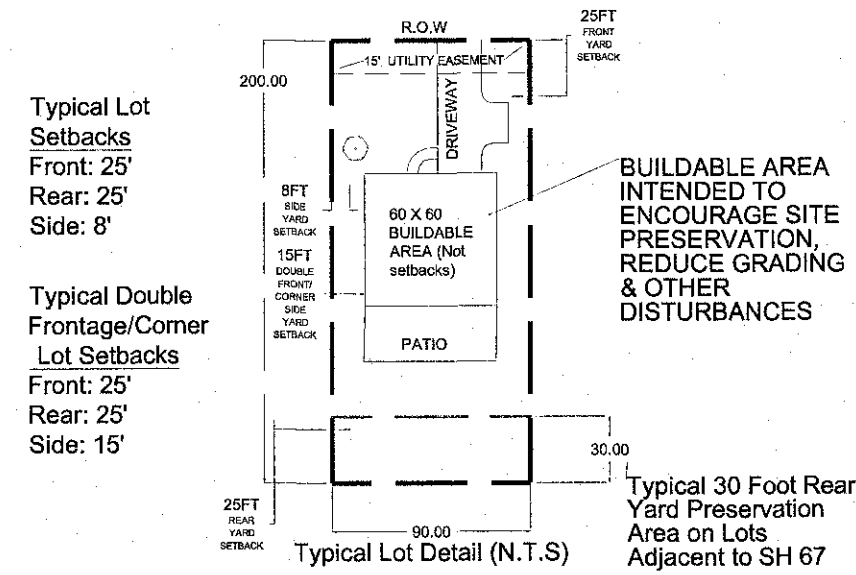
The proposed detention pond facilities have been designed based on design procedures delineated in the City of Woodland Park Drainage criteria manual. The total developed storm runoff downstream of the site will be maintained at historic levels by routing flows through the proposed detention pond. Detention pond a has been designed as a "full-spectrum" detention pond to mitigate developed drainage and water quality impacts from the subdivision.

The proposed pond outlet structure has been designed as an extended detention basins (EDB), providing for a 40-hour release of the WQOV, and outlet structure siding to maintain maximum allowable release rates from the pond. The detention pond will have a grass-lined bottom and riprap infiltration zone in front of the pond outlet structure to encourage infiltration of stormwater prior to discharging into the downstream drainage system. A buried riprap spillway will be provided as an emergency overflow path from the pond to the downstream roadside ditch and culvert.

FLOODPLAIN

The project site is not impacted by any 100-year floodplain limits as delineated by the Federal Emergency Management Agency (FEMA). The floodplain limits in the vicinity of the site are shown in flood insurance rate map (firm) numbers 08119-0139d dated September 25, 2009.

The existing Loy Gulch channel flows northwesterly along the west side of SH67 to the west of this site. According to the flood insurance study, the 100-year flow in the Loy Gulch channel on the west side of SH67 is 1,040 CFS.



- Lot Typical Notes:**
- 60x60 buildable area may be located anywhere on lot outside of required setbacks, easements, and/or preservation areas.
 - Corner lot side yards adjacent to a road shall have a side yard setback of 15 feet adjacent to any ROW.
- Typical Lot Detail (N.T.S.)**

TRACT TABLE			
TRACT	PERMITTED USES	OWNERSHIP/MAINTENANCE	SQUARE FOOTAGE/ACREAGE
A	OPEN SPACE, DRAINAGE, & UTILITY, MAIL KIOSK, SIGNAGE	HOA	132,699.67 SF (3.04 AC)
B	OPEN SPACE, DRAINAGE, & UTILITY	HOA	4,487 SF (0.103 AC)
C	OPEN SPACE, DRAINAGE, & UTILITY, MAIL KIOSK, SIGNAGE	HOA	26,531 SF (0.609 AC)
D	OPEN SPACE, DRAINAGE, & UTILITY, MAIL KIOSK, SIGNAGE	HOA	56,458.05 SF (1.296 ACRES)
TOTAL SQUARE FOOTAGE/ ACREAGE			+/- 220,177.43 (+/- 5.05 ACRES)

TRACT MAP



CERTIFICATION: The undersigned hereby certifies that they are the owner of Lot 2, Dayspring Christian Fellowship (205 Sourdough Road) and that the undersigned shall abide by the provisions as specified upon The Pines at Tamarac PUD Final Development Plan and The Pines at Tamarac Preliminary Plat and any conditions and requirements as specified by the Woodland Park Planning Commission and the City of Woodland Park Council.

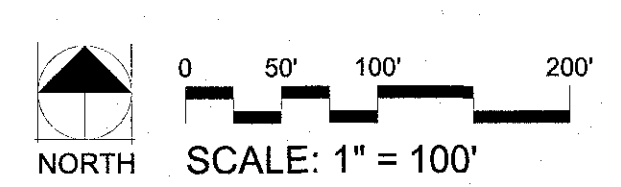
Date: 7/24/19 Landowner David & Susan Garretson: [Signature]

APPROVALS: I hereby certify that I am the City Planner of the City of Woodland Park and hereby attest that The Pines at Tamarac PUD Final Development Plan and Preliminary Plat was approved subject to conditions contained herein by the Woodland Park Planning Commission on JUNE 13, 2019 and the City of Woodland Park Council on JULY 18, 2019.

Date: AUGUST 1, 2019 City Planner Lor Pellegrino, AICP: [Signature]

APPROVED

- CONDITIONS OF APPROVAL**
- Prior to installation of infrastructure, the applicant shall submit and receive approval of a Zoning Development Permit for infrastructure, which application shall include:
 - Final utility plan with profiles for all water, storm and sewer systems; sanitary sewer profile for the sewer main servicing for Lots 1-4 and Lots 23-26; water line profile showing the crossing of the drainage swale on Cabernet Way; a fire flow analysis for all water main line extensions; snow storage in the northern cul-de-sac that avoids driveways and utilities; Cul-de-sac radii large enough for plow trucks to make a 3-point turn around; verification that water main is outside of CDOT right-of-way; on plan S51, show water main on church site; a combined easement for drainage and sanitary sewer main running behind Lots 1-4 and Lots 23-26.
 - Final grading and erosion control plan for the entire site and off-site improvements.
 - Final on- and off-site street plan with profiles with curb and gutter on both sides of Sourdough Road.
 - Final drainage plan and report
 - Approved CDOT Access Permit
 - Approved SWMP
 - Prior to construction of SH67 improvements, the applicant shall receive appropriate construction drawing approvals and permits as required by CDOT.
 - Prior to conveyance of any proposed lot, the applicant shall:
 - Record a Final Plat;
 - Repair/upgrade Sourdough Road to City standards for the full length along the eastern boundary of Lot 2 or enter into Subdivision Development Agreement fully secured with an acceptable guarantee. All costs for this installation shall be borne by the developer.
 - Construct the deceleration lane on SH67
 - Prior to recording the final plat, the applicant shall submit:
 - Covenants, which include deed restrictions that establish a homeowners association to guarantee the architectural and landscape design and maintenance of the private open space.
 - Park Development Fees in the applicable amount.



SHEET INDEX	
P1	PUD DEVELOPMENT PLAN (PRELIMINARY PLAN)
U1	OVERALL UTILITY PLAN
U1.1	SITE UTILITY PLAN
C1	GRADING & EROSION CONTROL PLAN
L1	LANDSCAPE PLAN

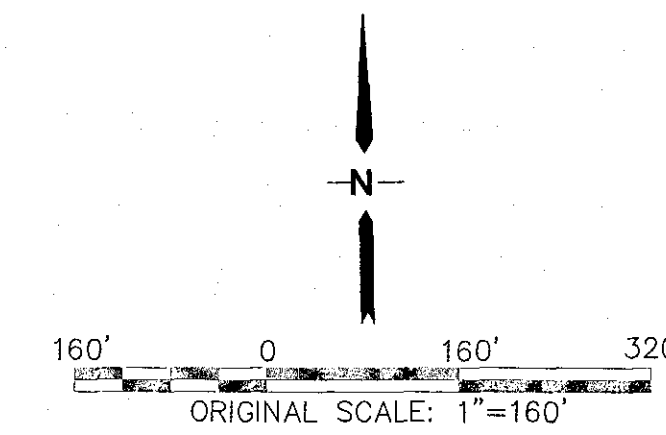
Thomas+Thomas
planning urban design + landscape architecture, inc.
702 North Tejon
Colorado Springs, Colorado 80903
(719) 578-8777

PINES AT TAMARAC
Filing NO. 1 PUD 19-001
Preliminary Plat SUB 19-005
Woodland Park, CO
PUD/PRELIMINARY PLAT

REV #	DATE	REVISIONS
1	5.31.19	RSF
2	6.6.19	RSF
3	7.22.19	RSF
4		
5		
6		

DESIGNED	JEH	3.29.19
DRAWN	ACJ	3.29.19
CHECKED	RSF	4.8.19
PROJECT NUMBER		3885.00
SCALE:		AS NOTED

P1



PROPOSED
180' TAPER

_____	EASEMENT
_____	EDGE OF ASPHALT
_____	PROPERTY LINE
_____	STORM DRAIN LINE
_____	4" SANITARY SEWER
_____	6" SANITARY SEWER
_____	8" SANITARY SEWER
WT _____	WATER SERVICE LINE
_____	6" WATER LINE
_____	8" WATER LINE
	CMP STORM
	FES W/ RIPRAP
	WATER VALVE
	FIRE HYDRANT ASSY.
	SANITARY SEWER MANHOLE
	STORM INLET
	AREA INLET
	SANITARY SEWER MANHOLE

APPROVALS

Date: _____

CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
CALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR EXCAVATE
FOR THE MARKING OF UNDERGROUND
MEMBER UTILITIES.

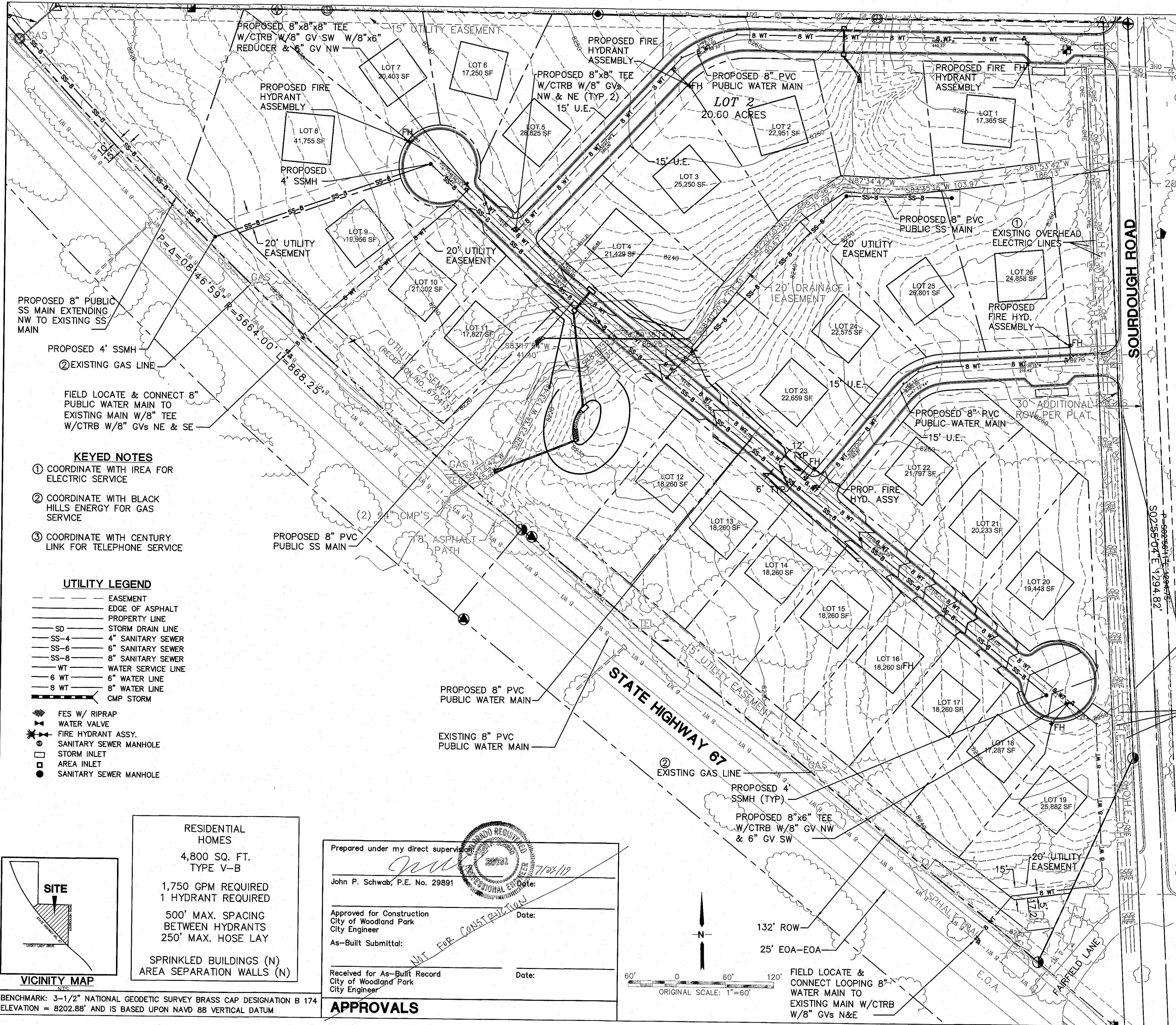
OVERALL SITE UTILITY PLAN

HORIZ. SCALE:	1"=160'	DRAWN:	BJJ
VERT. SCALE:		DESIGNED:	
SURVEYED:	N/A	CHECKED:	JPS
	RAMPART		JPS
CREATED:	2/23/19	LAST MODIFIED:	5/30/19
PROJECT NO:	011904	MODIFIED BY:	BJJ
SHEET:			

U1

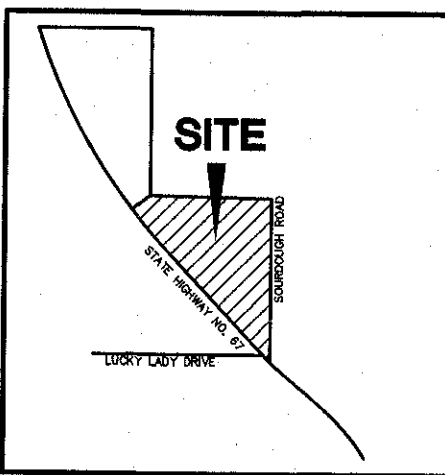
\\011904.wp-dayspring\dwg\civil\U1.dwg May 30, 2019 - 4:34pm

Z:\011904.wp-ds\spring.dwg Civil UT 1.dwg May 30, 2019 - 4:01pm



- KEYED NOTES**
- COORDINATE WITH IREA FOR ELECTRIC SERVICE
 - COORDINATE WITH BLACK HILLS ENERGY FOR GAS SERVICE
 - COORDINATE WITH CENTURY LINK FOR TELEPHONE SERVICE

- UTILITY LEGEND**
- EASEMENT
 - EDGE OF ASPHALT
 - PROPERTY LINE
 - SD STORM DRAIN LINE
 - SS-4 4" SANITARY SEWER
 - SS-6 6" SANITARY SEWER
 - SS-8 8" SANITARY SEWER
 - WT WATER SERVICE LINE
 - 6 WT 6" WATER LINE
 - 8 WT 8" WATER LINE
 - CMP STORM
 - FES W/ RIPRAP
 - WATER VALVE
 - FIRE HYDRANT ASSY.
 - SANITARY SEWER MANHOLE
 - STORM INLET
 - AREA INLET
 - SANITARY SEWER MANHOLE



VICINITY MAP

RESIDENTIAL HOMES
4,800 SQ. FT.
TYPE V-B
1,750 GPM REQUIRED
1 HYDRANT REQUIRED
500' MAX. SPACING
BETWEEN HYDRANTS
250' MAX. HOSE LAY
SPRINKLED BUILDINGS (N)
AREA SEPARATION WALLS (N)

Prepared under my direct supervision
John P. Schwab, P.E. No. 29891
Approved for Construction
City of Woodland Park
City Engineer
As-Built Submittal:
Received for As-Built Record
City of Woodland Park
City Engineer

Date: 7/23/19
Date:
Date:

APPROVALS

- GENERAL UTILITY NOTES:**
- ALL UTILITY WORK SHALL CONFORM TO CITY OF WOODLAND PARK ENGINEERING SPECIFICATIONS.
 - WATER PIPES AND FITTINGS SHALL BE INSTALLED PER CITY OF WOODLAND PARK SPECIFICATIONS. ALL TRENCH BEDDING, THRUST BLOCKS AND REVERSE ANCHORS SHALL BE INSTALLED PER CITY OF WOODLAND PARK STANDARDS.
 - CONTRACTOR SHALL MAKE ALL WATER CONNECTIONS WITHOUT SHUT DOWN OF THE MAIN.
 - UTILITY SERVICE LINES SHALL BE INSTALLED PER CITY OF WOODLAND PARK STANDARDS.
 - CONTRACTOR SHALL COORDINATE WITH GAS, ELECTRIC, TELEPHONE AND CABLE T.V. UTILITY SUPPLIERS FOR INSTALLATION OF ALL UTILITIES. MINIMUM COVER FOR ALL NON-CITY UTILITIES SHALL BE 36". IREA FACILITIES ARE 48" DEEP AND REQUIRE MIN. 3' SEPARATION FROM GAS. ALL DRY UTILITIES WILL BE ON PRIVATE AND NOT WITHIN ROW.
 - ALL UTILITY TRENCHES MUST MEET MINIMUM COMPACTION REQUIREMENTS PER CITY SPECIFICATIONS. MAINTAIN THE REQUIRED 10' SEPARATION BETWEEN WATER AND SEWER.
 - COORDINATE WITH IREA FOR ELECTRIC SERVICE (687-9277).
 - COORDINATE WITH BLACK HILLS ENERGY FOR GAS SERVICE - (CONTACT TOM POGUE, 687-7406).
 - ALL UTILITY TRENCHES SHALL MEET MINIMUM COMPACTION REQUIREMENTS PER CITY SPECIFICATIONS.
 - THERE SHALL BE A MINIMUM OF 7'-0" FEET OF COVER FROM FINISHED GRADE OVER ALL WATER MAINS AND WATER SERVICE LINES.
 - TRACER WIRE SHALL BE INSTALLED ON BOTH WATER & SEWER LINES AND ACCESSIBLE EVERY 250'.

- WATER LINE CONNECTION NOTES:**
- THE NEW WATER MAIN WILL NEED TO BE TESTED TO THE NEAREST ISOLATION VALVE. THE PIPELINE FROM THAT VALVE TO THE NEW PIPE SEGMENT WILL NEED TO BE FILLED WITH A HIGH CHLORINE LEVEL FOR DISINFECTION, PRESSURE TESTED AND A BACTERIA TEST TAKEN. FILLING THE LINE AND REMOVING ALL AIR FROM THE SYSTEM AND GETTING CHLORINATED WATER INTO THE EXISTING LINE MAY REQUIRE THAT A TAP (TEMPORARY 2" BLOWOFF ASSEMBLY) BE MADE IN THE MAIN NEAR THE CLOSEST EXISTING VALVE.
 - CUT AND TAP EXISTING WATER LINES TO BE ABANDONED BEYOND CONNECTION POINTS.
 - TEST & CHLORINATE NEW WATER LINE PER CITY STANDARDS.

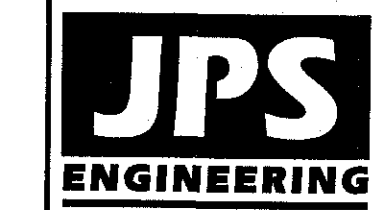
RIM=8243.19'
INV. IN (E)=8232.15'
INV. OUT (S)=8232.10'
RIM=8243.19'
INV. IN (E)=8232.15'
INV. OUT (S)=8232.10'

NOTE: SOURDOUGH PAVING IMPROVEMENTS ALONG PROPERTY FRONTAGE SHALL BE COMPLETED PER CITY STANDARDS

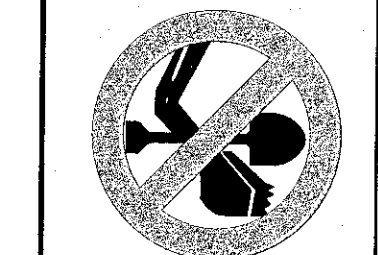
PUD #19-001
Preliminary Plat Sub 19-005

PINES AT TAMARAC

SITE UTILITY PLAN



19 E. Willamette Ave.
Colorado Springs, CO 80903
PH: 719-477-9429
FAX: 719-471-0766
www.jpsengr.com

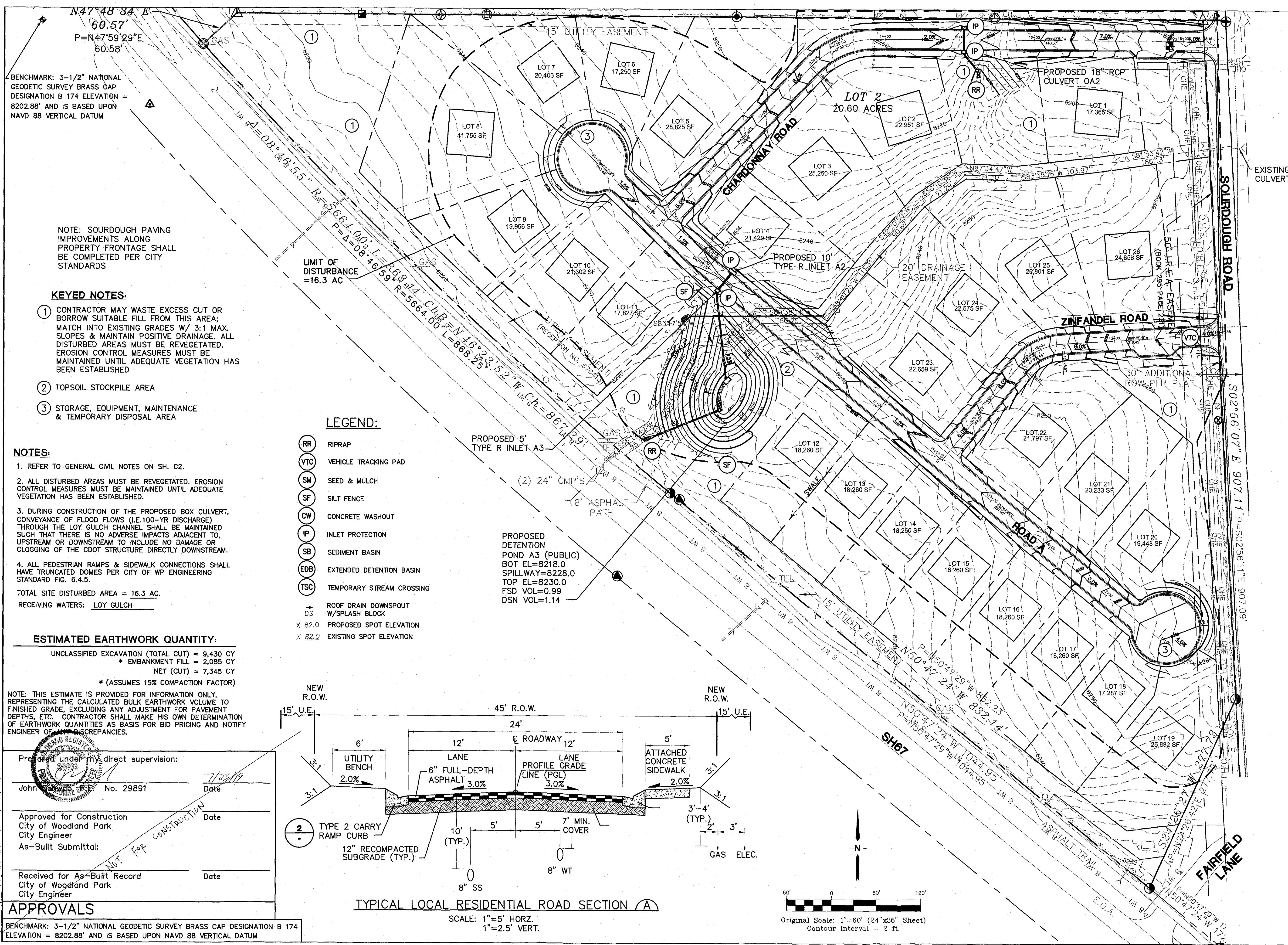


CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
CALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE OR EXCAVATE
FOR THE MEMBER UTILITIES.

No.	REVISION	DATE	BY
1	CITY DP SUBMITTAL	4/04/19	JPS
2	CITY COMMENTS	5/30/19	JPS

HORIZ. SCALE: 1"=60'	DRAWN: BJJ
VERT. SCALE: N/A	DESIGNED: JPS
SURVEYED: RAMPART	CHECKED: JPS
CREATED: 3/01/19	LAST MODIFIED: 5/30/19
PROJECT NO: 011904	MODIFIED BY: BJJ
SHEET:	

U1.1



BENCHMARK: 3-1/2" NATIONAL
GEODETIC SURVEY BRASS CAP
DESIGNATION B 174 ELEVATION =
8202.88' AND IS BASED UPON
NAVD 88 VERTICAL DATUM

NOTE: SOURDOUGH PAVING
IMPROVEMENTS ALONG
PROPERTY FRONTAGE SHALL
BE COMPLETED PER CITY
STANDARDS

KEYED NOTES:

- 1 CONTRACTOR MAY WASTE EXCESS CUT OR BORROW SUITABLE FILL FROM THIS AREA; MATCH INTO EXISTING GRADES W/ 3:1 MAX. SLOPES & MAINTAIN POSITIVE DRAINAGE. ALL DISTURBED AREAS MUST BE REVEGETATED. EROSION CONTROL MEASURES MUST BE MAINTAINED UNTIL ADEQUATE VEGETATION HAS BEEN ESTABLISHED
- 2 TOPSOIL STOCKPILE AREA
- 3 STORAGE, EQUIPMENT, MAINTENANCE & TEMPORARY DISPOSAL AREA

NOTES:

- 1. REFER TO GENERAL CIVIL NOTES ON SH. C2.
 - 2. ALL DISTURBED AREAS MUST BE REVEGETATED. EROSION CONTROL MEASURES MUST BE MAINTAINED UNTIL ADEQUATE VEGETATION HAS BEEN ESTABLISHED.
 - 3. DURING CONSTRUCTION OF THE PROPOSED BOX CULVERT, CONVEYANCE OF FLOOD FLOWS (I.E. 100-YR DISCHARGE) THROUGH THE LOY GULCH CHANNEL SHALL BE MAINTAINED SUCH THAT THERE IS NO ADVERSE IMPACTS ADJACENT TO, UPSTREAM OR DOWNSTREAM TO INCLUDE NO DAMAGE OR CLOGGING OF THE CDOT STRUCTURE DIRECTLY DOWNSTREAM.
 - 4. ALL PEDESTRIAN RAMPS & SIDEWALK CONNECTIONS SHALL HAVE TRUNCATED DOMES PER CITY OF WP ENGINEERING STANDARD FIG. 6.4.5.
- TOTAL SITE DISTURBED AREA = 16.3 AC.
RECEIVING WATERS: LOY GULCH

ESTIMATED EARTHWORK QUANTITY:

UNCLASSIFIED EXCAVATION (TOTAL CUT) = 9,430 CY
* EMBANKMENT FILL = 2,085 CY
NET (CUT) = 7,345 CY
* (ASSUMES 15% COMPACTION FACTOR)

NOTE: THIS ESTIMATE IS PROVIDED FOR INFORMATION ONLY, REPRESENTING THE CALCULATED BULK EARTHWORK VOLUME TO FINISHED GRADE, EXCLUDING ANY ADJUSTMENT FOR PAVEMENT DEPTHS, ETC. CONTRACTOR SHALL MAKE HIS OWN DETERMINATION OF EARTHWORK QUANTITIES AS BASIS FOR BID PRICING AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

Prepared under my direct supervision:

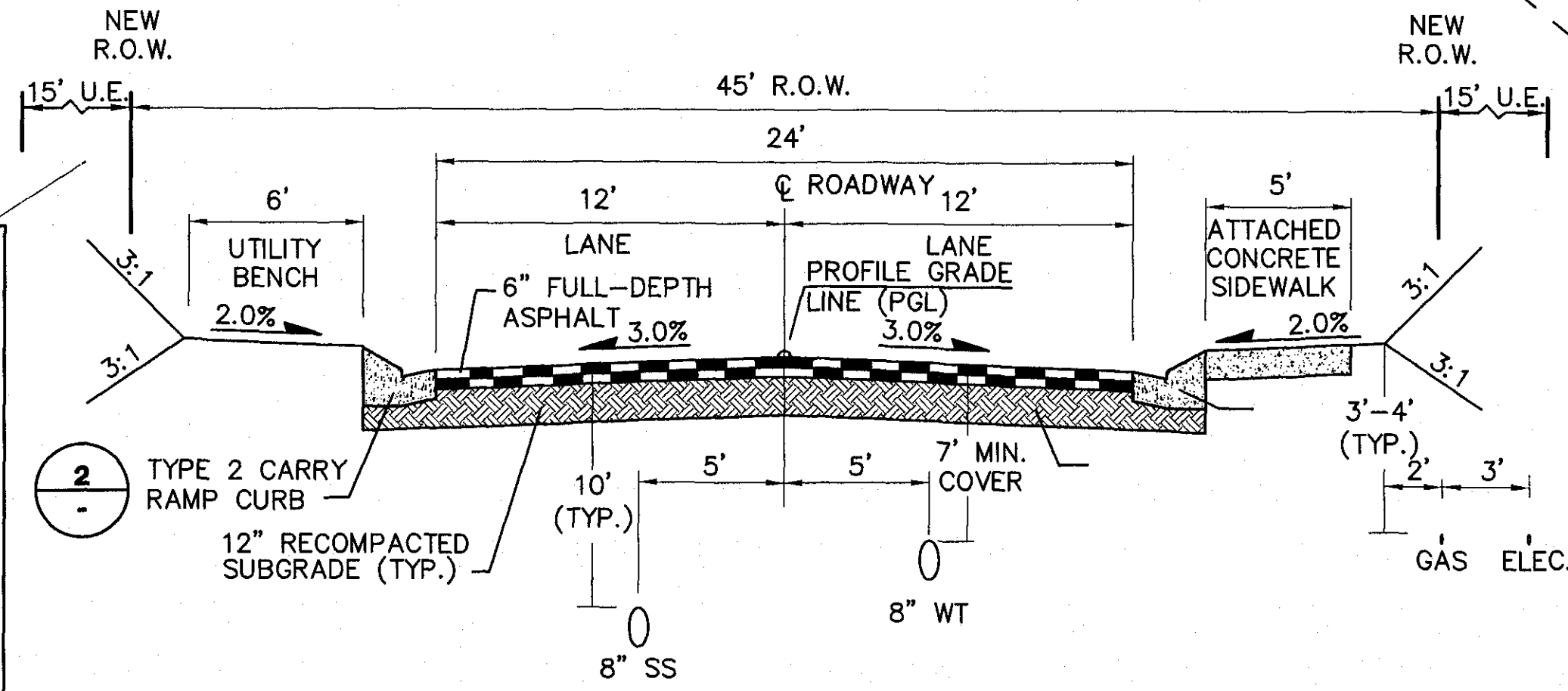
John [Signature] No. 29891 Date 7/23/19

Approved for Construction
City of Woodland Park
City Engineer
As-Built Submittal: _____ Date _____

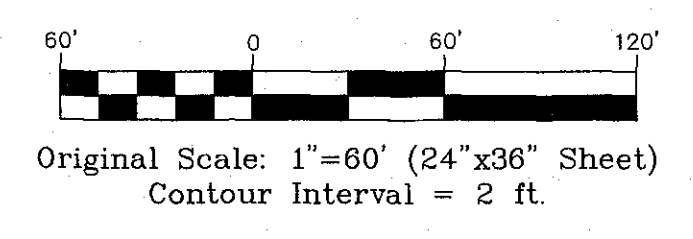
Received for As-Built Record
City of Woodland Park
City Engineer
Date _____

APPROVALS
BENCHMARK: 3-1/2" NATIONAL GEODETIC SURVEY BRASS CAP DESIGNATION B 174
ELEVATION = 8202.88' AND IS BASED UPON NAVD 88 VERTICAL DATUM

- LEGEND:**
- RR RIPRAP
 - VTC VEHICLE TRACKING PAD
 - SM SEED & MULCH
 - SF SILT FENCE
 - CW CONCRETE WASHOUT
 - IP INLET PROTECTION
 - SB SEDIMENT BASIN
 - EDB EXTENDED DETENTION BASIN
 - TSC TEMPORARY STREAM CROSSING
 - DS ROOF DRAIN DOWNSPOUT W/ SPLASH BLOCK
 - X 82.0 PROPOSED SPOT ELEVATION
 - X 82.0 EXISTING SPOT ELEVATION

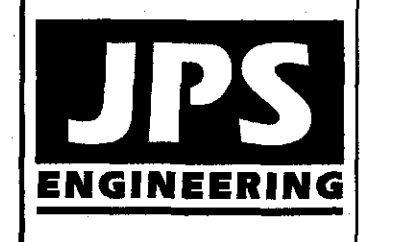


TYPICAL LOCAL RESIDENTIAL ROAD SECTION (A)
SCALE: 1"=5' HORZ.
1"=2.5' VERT.

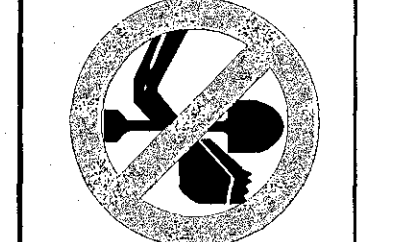


PUD # 19-001
Preliminary Plat SUB 19-005

PINES AT TAMARAC



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PH: 719-477-9429
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1-800-922-1987
CALL BUSINESS BEFORE YOU DIG
BEFORE YOU DIG OR BEFORE YOU EXCAVATE
FOR THE MARKING OF UNDERGROUND
MEMBER UTILITIES

NO.	DATE	BY	REVISION
1	4/04/19	JPS	CITY DP SUBMITTAL
2	5/30/19	JPS	CITY COMMENTS

**SITE GRADING & EROSION
CONTROL PLAN**

HORZ. SCALE: 1"=60'	DRAWN: BJJ
VERT. SCALE: N/A	DESIGNED: JPS
SURVEYED: RAMPART	CHECKED: JPS
CREATED: 2/23/19	LAST MODIFIED: 5/30/19
PROJECT NO: 011904	MODIFIED BY: BJJ
SHEET: C1	

Pines at Tamarac PUD CONCEPTUAL LANDSCAPE PLAN

Land Owner Certification

In Witness Whereof: The aforementioned DAVID N. & SUSAN J. GARRETSON has executed these presents this 25th day of July 2019 A.D.

Authorized Owner/Representative

STATE OF COLORADO)
EL PASO COUNTY)

MORGAN TAGUE
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 2019023333
MY COMMISSION EXPIRES JUNE 26, 2022

The above and foregoing statement was acknowledged before me this 25 day of July 2019 A.D. by David N. & Susan J. Garretson Witness my Hand and SEAL:

My Commission Expires: 06-26-2022

City of Woodland Park Certification See Certification Sheet P1

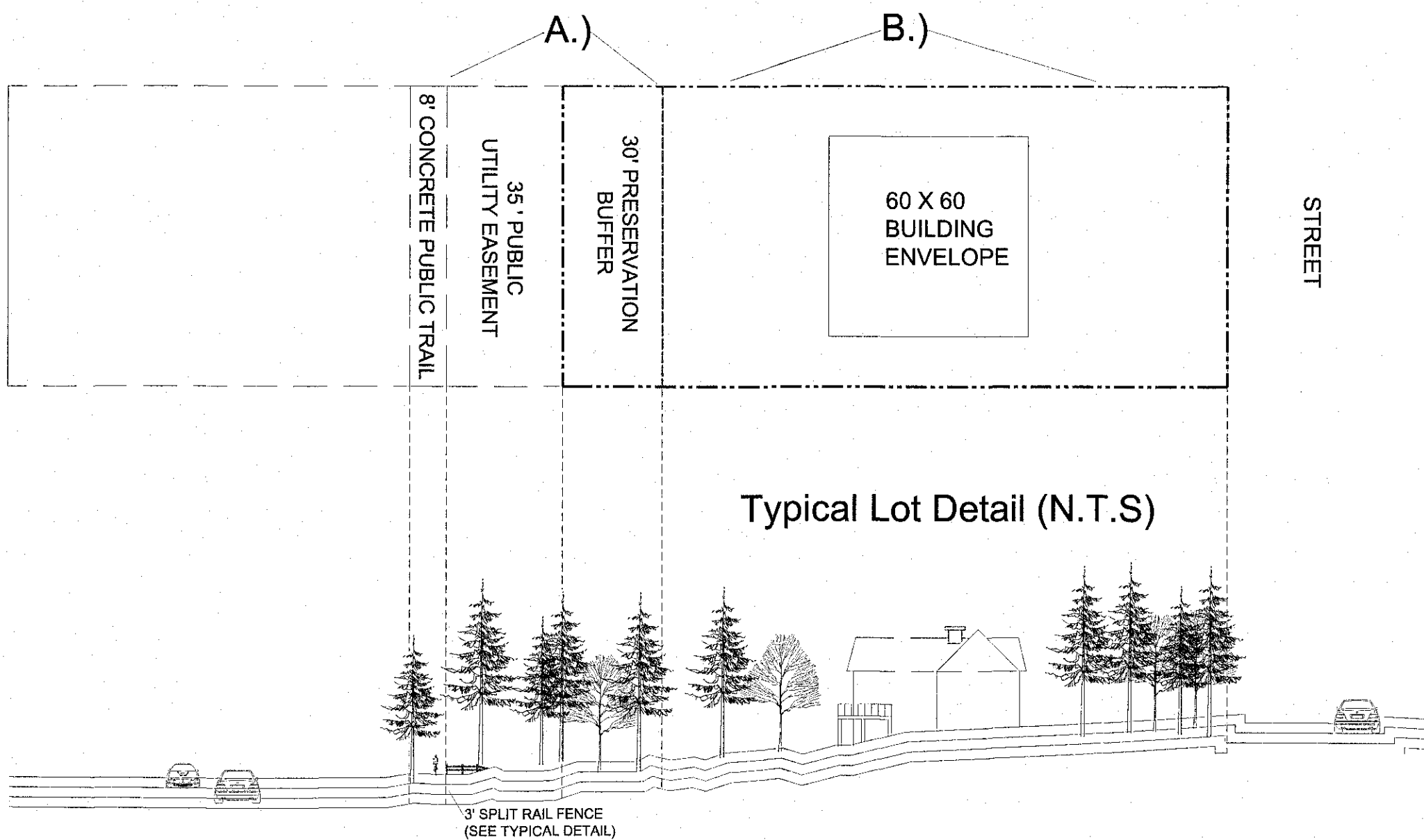
This rezoning request to PUD has been reviewed and found to be complete and in accordance with the (City Council resolution or motion) and date approving the PUD and all applicable City of Woodland Park regulations.

Chair, Woodland Park City Council date

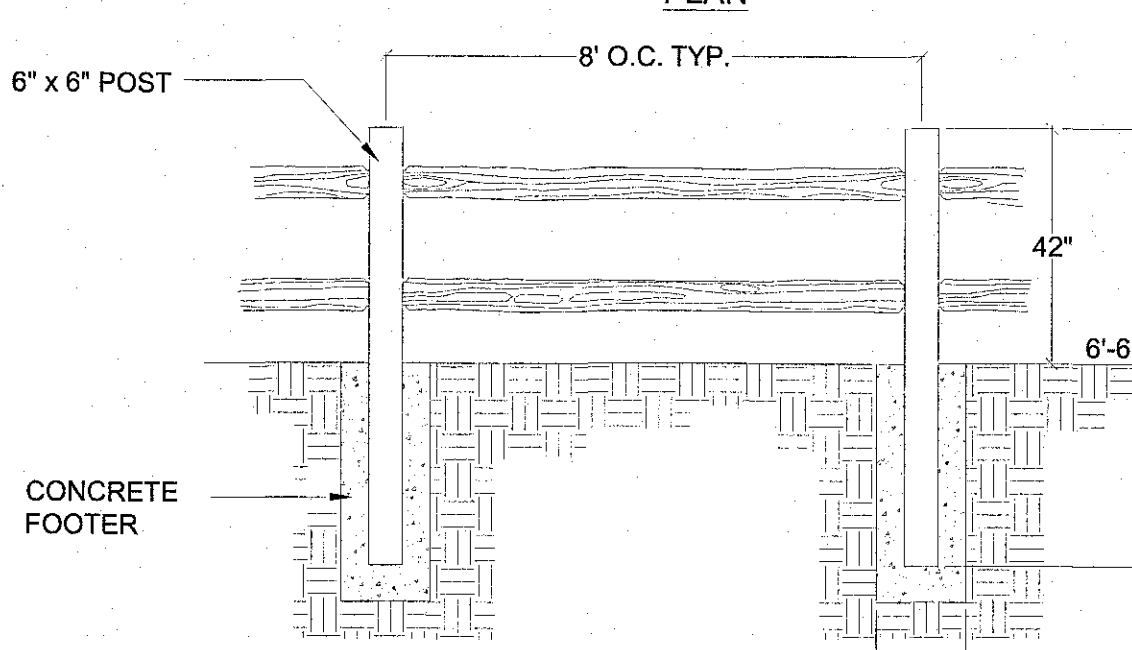
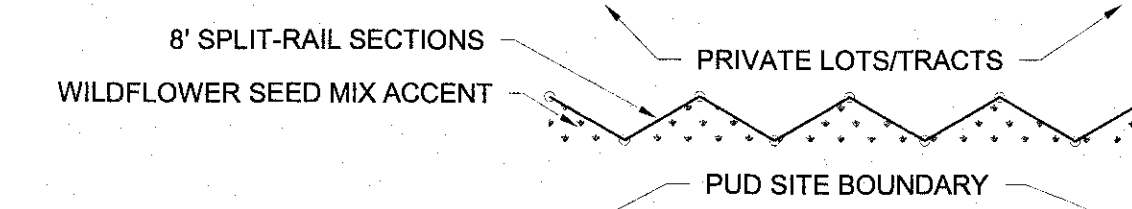
Director, Planning and Community Development date

LANDSCAPE ACCENT PROGRAM WITH FIRE MITIGATION ACTIVITIES*

- A) PUBLIC EASEMENT & PRESERVATION AREA
 - DEVELOPER OBLIGATION DURING SUBDIVISION CONSTRUCTION PHASE
 - RESPONSIBILITIES INCLUDE:
 - 1. WILDFIRE MITIGATION (PRE-DEVELOPMENT)
 - 2. MAINTENANCE
 - a. PRESERVATION OF DEFENSIBLE ZONES AS DEFINED IN WILDFIRE MITIGATION PLAN
 - b. FORESTRY MANAGEMENT
 - c. EROSION CONTROL/FUEL MANAGEMENT
 - LANDSCAPING TO CONSIST OF:
 - a. WILDFLOWERS
 - b. NATIVE GRASSES
 - c. ORNAMENTAL FENCE ACCENTS
- B) PRIVATE OPEN SPACE/BUILDABLE (LOT) AREA
 - BUILDER (HOMEOWNER) OBLIGATION DURING LOT IMPROVEMENT/HOME BUILDING PHASE
 - RESPONSIBILITIES INCLUDE:
 - 1. MAINTENANCE
 - a. FUEL MANAGEMENT
 - b. PRESERVATION/MAINTENANCE OF DEFENSIBLE SPACE ZONES AS DEFINED IN WILDFIRE MITIGATION PLAN
 - c. FORESTRY MANAGEMENT
 - 2. EROSION CONTROL/FUEL MANAGEMENT
 - 3. LANDSCAPE CONSISTS OF:
 - a. WILDFLOWERS
 - b. NATIVE GRASSES



WILDFLOWER SEED MIX
PBSI ROCKY MOUNTAIN WILDFLOWER MIX BY PAWNEE BUTTES SEED INC. (OR APPROVED EQUAL). SUBMIT CUT-SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

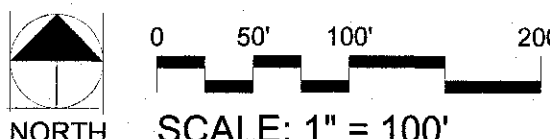


Clerk and Recorder Certification

STATE OF COLORADO)
TELLER COUNTY)

I hereby certify that this Plan was filed in my office on this 20th day of July 2019 at 10:00 a.m./p.m. and was recorded per Reception No. 193.

Teller County Clerk and Recorder



Thomas+Thomas
planning, urban design • landscape architecture, inc.
299 North Tejon
Colorado Springs, Colorado 80903
(719) 598-6777

PINES AT TAMARAC
Filing NO. 1 PUD 19-001
Preliminary Plat Sub 19-005
Woodland Park, CO
PUD/PRELIMINARY PLAT

REV #	DATE	REVISIONS
1	6.6.19	RSF
2		
3		
4		
5		
6		

DESIGNED	JEH	3,299.19
DRAWN	RSF	5,311.19
CHECKED	SAB	5,311.19
PROJECT NUMBER:		3835.00
SCALE:	AS NOTED	

L1

*(SEE WILDFIRE MITIGATION PLAN SUBMITTED TO CITY OF WOODLAND PARK IN SUPPORT OF THIS PUD PLAN FOR ADDITIONAL DETAILS AND RECOMMENDATIONS.)