



**BOARD OF REVIEW
CITY OF WOODLAND PARK, BUILDING DEPARTMENT
CITY HALL COUNCIL CHAMBERS
220 W. SOUTH AVENUE, WOODLAND PARK, CO
Thursday, September 21, 2023 – 3:30 P.M.**

AGENDA

This meeting is a hybrid in-person & Zoom meeting. The Zoom meeting link is in the calendar at the bottom of the City website (www.city-woodlandpark.org) – click “Read On” under “Board of Review” and click on “Link: Participate via zoom”. Please call the Planning & Building Department at (719) 687-5202 with questions or comments.

I. CALL TO ORDER AND ROLL CALL

II. PLEDGE OF ALLEGIANCE

III. APPROVAL OF MEETING MINUTES – March 16, 2023

IV. CONSENT ITEMS – None

V. COMPLAINTS - None

VI. VARIANCE OR APPEALS HEARINGS:

- A. VAR2023-04 (B)** – 161 Dewell Road, owners Billy & Lee Ann Johnson request a variance to the 2015 IECC Section R402.1.2, as amended by the 2017 PPRBC including Appendix J, to allow for an exception to the garage insulation and heat loss calculation requirements for installation of a heating unit in the owner’s residential attached garage. The Johnson’s house was issued a Certificate of Occupancy on August 17, 2023. Due to a lack of garage slab perimeter insulation, the garage heater and venting were removed, and the gas line to the heater was capped as a condition of issuing the Certificate of Occupancy. The owners now request a variance to install a garage heating unit.
- B. VAR2023-05(B)** – 530 Hikers Way, owner Habitat for Humanity of Teller County, Inc.; a Colorado Non-profit organization, requests a variance to the 2017 PPRBC Section 303.4.1 to allow for the existing crawl space average height of 5’-3”, whereas the definition of a crawl space is not more than 5 feet average height of under-floor space between the bottom of the floor framing and the earth beneath the building.
- C. VAR2023-06(B)** – 532 Hikers Way, owner Habitat for Humanity of Teller County, Inc.; a Colorado Non-profit organization, requests a variance to the 2017 PPRBC Section 303.4.1 to allow for the existing crawl space average height of 5’-2”, whereas the definition of a crawl space is not more than 5 feet average height of under-floor space between the bottom of the floor framing and the earth beneath the building.

VII. UNFINISHED BUSINESS – None

VIII. NEW BUSINESS – None

IX. OPEN DISCUSSION

X. ADJOURNMENT

**WOODLAND PARK BOARD OF REVIEW
MEETING MINUTES
City Hall Council Chambers
Regular Meeting on March 16, 2023
3:30 PM**

- I. CALL TO ORDER AND ROLL CALL:** The meeting was called to order at 3:30 p.m. In attendance were Chairman Mac McVicker, Vice-Chair Jeff Cahill, and Regular members Derrick Carpenter and Jeff Smith. Regular member Patrick Vitagliano was absent. Others in attendance were City Planning Director Karen Schminke (via Zoom), City Planner David Burgess, and Pikes Peak Regional Building Department (PPRBD) Deputy Building Official John Welton.
- II. PLEDGE OF ALLEGIANCE:** Chairman McVicker led the Pledge of Allegiance.
- III. APPROVAL OF MEETING MINUTES:** The February 16, 2023 meeting minutes were approved unanimously as presented.
- IV. CONSENT ITEMS:** None.
- V. COMPLAINTS:** None.
- VI. VARIANCE OR APPEAL HEARINGS:** None.
- VII. UNFINISHED BUSINESS:** Chairman McVicker followed up with Mr. Welton from the February 16, 2023 meeting regarding Mr. Vitagliano's discussion of the requisite contractor's insurance endorsement. Mr. Welton stated that RBC201.7.2 requires a minimum of ten days' notice to PPRBD for expiration of insurance as mandated by the current 2017 RBC. There have been no changes since the 2005 RBC, and that there will be no changes to the proposed 2023 RBC.
- Chairman McVicker announced congratulations and accolades to Mr. Carpenter for being chosen as the "Wagon Boss of the Year 2022" by the Greater Woodland Park Chamber of Commerce for his philanthropic work on renovating an old building in the Gold Hill Square South Shopping Center for the new Community Partnership Family Resource Center.
- Note: Mr. Carpenter provided his leadership, expertise, labor, and committed compassion for this remodel project that came in under budget and completed on time. The center provides programs and services that support Teller County families.*
- VIII. NEW BUSINESS:**
- A. Building Code Update** – Review and recommendation of an Ordinance to adopt the 2023 Regional Building Code (RBC), which includes by reference the 2021 International Code Council (ICC) Building Code Suite and City of Woodland Park Appendix J, to be codified no later than June 30, 2023. (PPRBD personnel)

Note: For the purpose of these meeting minutes, the recording secretary is providing the following International Code Council (ICC) code references for the family of I-codes proposed to be adopted by reference:

I-Codes that will be adopted by reference are:

- 2021 IRC (International Residential Code for Residential Construction)

- 2021 IBC (International Building Code for Commercial Construction)
- 2021 IMC (International Mechanical Code)
- 2021 IEBC (International Existing Building Code)
- 2021 IFGC (International Fuel Gas Code)
- 2021 IECC (International Energy Conservation Code)
- 2021 ISPCS (International Swimming Pool and Spa Code)

The codes regulated by the State of Colorado that will not be changing or referenced for adoption are:

- 2018 IPC (International Plumbing Code)
- 2020 NEC (National Electric Code)
- 2019 ASME A17.1 (American Society of Mechanical Engineers – for elevators)

Chairman McVicker invited Mr. Welton to review the proposed code adoption. Mr. Welton stated that after the several previous work sessions, he is here today to request a recommendation from the Board to the City Council to adopt the proposed 2023 RBC, including Appendix 'J' that is exclusive to Woodland Park.

Mr. Welton explained that during the previous meeting, it was agreed upon by the Board to remove the provision from Appendix 'J' that would have referenced RBC306.3 of the plumbing code (IPC903.1) requiring roof extensions to be not less than twelve inches above the roof, and instead to implement this as a policy only for projects in Woodland Park. A final version of the policy was included in this meeting's packet. He stated this was a good decision since the reference to the IPC did in fact change in the new 2021 IPC. Since this will be a policy and not code, a recommendation to City Council to adopt or amend is not needed. This also provides flexibility with amending this policy as needed without having to adopt a new code, as well as not having to amend the code if the IPC reference changes.

Mr. Welton stated that the PPRBD legal team worked with Woodland Park's City Attorney to provide checking and cleanup to the proposed amendments for amending the Municipal Code to remove items that needed to be in the RBC so that they will be enforceable by PPRBD personnel.

Mr. Welton briefly reviewed the other changes to Appendix 'J' as discussed in previous meetings such as the ice and water shield requirements exclusive to Woodland Park.

Chairman McVicker opened the discussion to the Board. Mr. Cahill stated he had found a couple of typos in the ordinance, which can be brought to the attention of the City's legal staff.

Next steps discussed are a work session with City Council on April 6, 2023, with a first reading of the ordinance on April 20, 2023, with the public hearing planned for May 4, 2023.

Chairman McVicker pointed to and commended County Commissioner Dan Williams's engagement with state elected officials regarding pending legislation and an article he wrote regarding the same.

Director Schminke commended the Board and PPRBD for their hard work on this new proposed code adoption in order to help soften the glide toward what the State will be mandating, and expressed her appreciation with our partners at PPRBD.

MOTION: Jeff Smith moved to recommend to City Council approval of an Ordinance to adopt the 2023 Regional Building Code (RBC), which includes by reference the 2021 International Code Council (ICC) Building Code Suite and City of Woodland Park Appendix 'J'. Motion seconded by Jeff Cahill. Motion passed unanimously.

IX. ADJOURNMENT: Chairman McVicker adjourned the meeting at approximately 3:50 p.m.

Recorded by:

David J. Burgess, Planner II, City of Woodland Park

Approved this _____ day of _____, 2023

Mac McVicker, Chairman

ITEM VI.A
VAR2023-04(B)

Planning Application Entry Form

Print Record



Go To Development Fees Receipt Form



ID

Permit Number 202309275

Project # EXT/Case # VAR2023-04(B)

Public Hearing Required ☐

Date Received 9/6/2023

Date Routed 9/7/2023

Date Initial Permit Approved

*Date Permit Paid 9/6/2023

Open Permit Comments

*NOTE: If Non-profit enter Date Approved in Date Permit Paid field for report

Project Type VAR

Project Type Number 11

Project Classification Building Code Varian

Non-Profit, Residential or Commercial Residential

Date CO Requested

Temp CO Auth Approved

Date Temp CO Expires

NOTE: Above Field required only for SINS and TUPs

Project Name Johnson Garage Heater Vari

Site Address Number 161

Site Address Name W. Dewell Road

Lot Number 11

Block Number 4

Subdivision Dewell Addition

Filing # -

Applicant Business Name -

App First Name Billy

App Last Name Johnson

App Phone Number 214-801-3513

PO Box -

Mailing Address Street # 161

Mailing Address Street Name W. Dewell Road

City Woodland Park

State CO

Zip Code 80863

Owner First Name Billy & Lee Ann

Owner Last Name Johnson

Zone Class UR

Applicant Project Value \$0.00

UTILITIES SECTION

Tap Allocation Date

Allocation Exp Date

Water Tap #

Sewer Tap #

Tap Paid Date

Tap Exp Date

Taps Refunded ☐

Inside/Outside User

Meter Installed ☐

Filed in Area

Dave's office

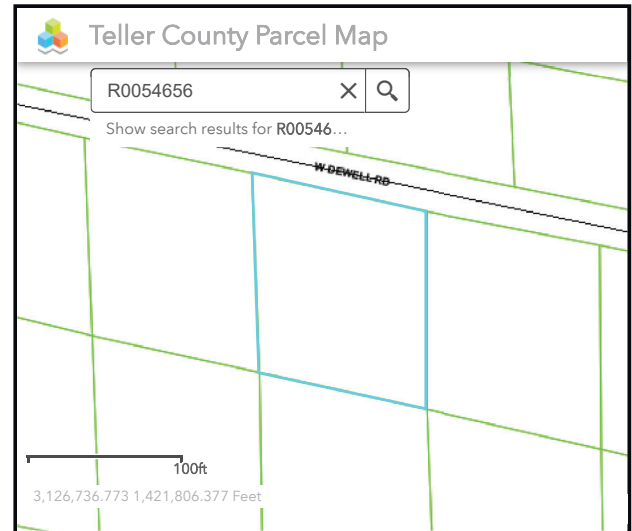
Teller County Property Records

Property Record

Acct No:R0054656



Map



[Full Screen Map](#) [Residential Sales Map](#) [Comps Worksheet](#)

Ownership

Account No	R0054656
Parcel Id	6029.244060240
Notice of Value	PDF of 2023 Notice of Value
Actual	\$74,841
Assessed	\$5,060
Acct Type	Residential
Owner Name	JOHNSON, BILLY J & LEE ANN
Mailing Address	161 DEWELL RD WOODLAND PARK, CO 808631176

Location

Physical Address	161 W DEWELL RD
School Dist	RE-2
Acres	0.316000
Map No.	6029
Tax Dist	60
Area	DEWELL ADD & REPLAT B3
Brief Legal	L11 B4 DEWELL ADD

Brief Legal Description is not intended for use on legal documents

Zoning

Zoned UR

Zoning Information (provided by City of Woodland Park for Questions call 719-687-5202)

Land Attributes

Land Type	Abst Code	Acres
Residential	1112	0.32

Building Information (provided by Assessor)

Transfers (provided by Assessor)

Sale Date	Reception No	Deed Type	Sale Price
05/30/2008	618033	Warranty Deed	\$121,800
03/08/2017	696001	Warranty Deed	\$133,000
01/28/2021	734654	Warranty Deed	\$170,000

Building Permits

Date	Permit No.	Description	Permit Issued By
09/09/1999	A16764	SEPARATE SERVICE	Teller County

11/15/2017	L24788	REROOF	Woodland Park
05/19/2021	N49205	TEMPORARY SERVICE	Woodland Park
06/08/2021	N52542	DEMOLISH BUILDING:	Woodland Park
05/31/2022	Q13710	RESIDENCE	Woodland Park
09/21/2022	Q32206	TEMP SERVICE	Woodland Park

Property Tax History (provided by Treasurer)

Delinquent taxes are not shown on this website.

[Tax detail on Treasurers Web Site \(Note: Select Public User Login Button if prompted\).](#)

[Tax Payment Web site](#)

Authority	Mil Levy	Amount
TELLER COUNTY	14.64	\$63.38
RE-2 SCHOOL DIST	27.924	\$120.91
CITY OF WOODLAND PARK	15.75	\$68.20
NE TELLER COUNTY FIRE	14.718	\$63.73
RAMPART LIBRARY	4.119	\$17.84
UTE PASS REGIONAL HEALTH	3.99	\$17.28
TOTAL	81.14100	\$351.34

Tax Year	Tax Amount
2022	\$351.34
2021	\$798.48
2020	\$635.86
2019	\$631.56
2018	\$311.54

About

The contributing Teller County Offices keep the information shown on this web site as current and as accurate as possible

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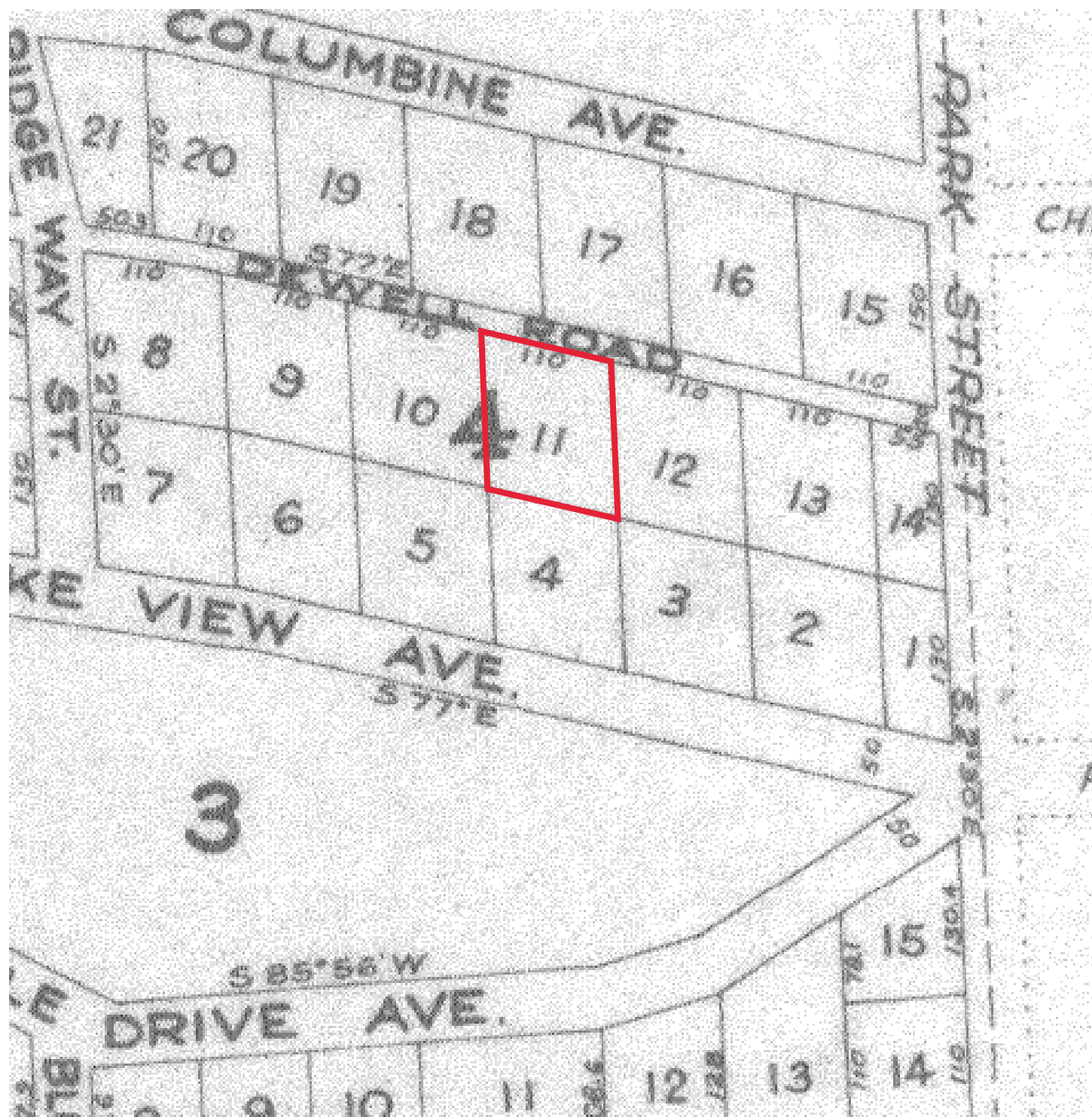
Contributors

Assessor
Treasurer
Clerk and Recorder
Community Development
Services Division (CDSD)

Mail comments or suggestions to web developer

Teller County Information Technology © 2022







RECEIVED
9/06/2023

**2023 BUILDING CODE
VARIANCE REQUEST
Woodland Park Board of Review
(Revised 1/1/2023)**

VAR2023-04(B)
Project # 202309275
Date Received: _____
Fee: \$75.00
(Pd) \$75.00
CC # 5132

TYPE: ☒ Variance ☐ Appeal ☐ Complaint

Note: The City relies upon information found in this application. You are encouraged to obtain a proper survey to verify lot lines and other information.

1. Applicant Information

- a. Applicant Name Billy Johnson
b. Contractor ☐ Property Owner ☒

2. Property Owner Information

- a. Name Billy Johnson Project Contact: Yes ☒ No ☐
b. Mailing Address 161 W. Dewell Rd Woodland Park
c. E-mail Address bjohnson070853@gmail.com
d. Phone Numbers: Home _____ Work _____ Mobile 214-801-3573

3. Contractor Information

- a. Name Woodland Plumbing & Heating Project Contact: Yes ☒ No ☐
b. Mailing Address 115 Stanford Pl, Woodland Park, CO 80863
c. E-mail Address woodland.phac@gmail.com
d. Phone Numbers: Home _____ Work _____ Mobile 719-459-2976
e. Contractor License # 20825 WP Business License # 005743

4. Site Information

- a. Site Address 161 W. Dewell Rd. Woodland Park
b. Lot 11 Block 4 Subdivision Dewell Addition
c. Property Zoning UR Lot Size 0.32 Acres ☒ Square Feet ☐

5. Request

- a. Cite applicable Code sections: ~~R402.2.10~~ IECC R402.1.2
b. Description and reason of request (Attach appropriate materials, photographs, sketches or plans) To allow for an exception to the garage slab insulation to allow for a heating unit in the owner's attached garage. House obtained CO on 8/17/2023 Under the 2017 PPRBC

➡ Builder/Applicant Signature [Signature] Date 8-28-23
➡ Property Owners Signature [Signature] Date 8-28-23

The applicant MUST ATTEND meetings to represent the request.

Pikes Peak REGIONAL Building Department

INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

RESIDENTIAL INSULATION CERTIFICATE - WOODLAND PARK ONLY

This certificate is based on the 2015 International Energy Conservation Code (IECC), as amended by the 2017 Pikes Peak Regional Building Code. This certificate is applicable to One- and Two- family Dwellings as well as Townhouses, R2, R-3 and R-4 buildings three stories or less in height. *This certificate is required to be submitted as part of the plan review package.*

ADDRESS OR MASTER #: 161 W. Dewell Rd. Permit #013710

METHOD OF ENERGY CODE COMPLIANCE:

The IECC provide various option for compliance with minimum standards. Check the box to indicate the method of compliance.

- | | |
|---|---|
| ☒ 1. Prescriptive Method (IECC Section R402.1.2) | ☐ 5. Simulated Performance Alternative ² (IECC Section R405). Available only to design professionals licensed in the State of Colorado or by qualified persons as approved by the Building Official. |
| ☐ 2. U-factor Alternative ¹ (IECC Section R402.1.4) | ☐ 6. Energy Rating Index Compliance Alternative ² (IECC Section R406). Available only to design professionals licensed in the State of Colorado or by qualified persons as approved by the Building Official. |
| ☐ 3. Total UA Alternative ¹ (IECC Section R402.1.5) | |
| ☐ 4. ResCheck ¹ (IECC Section R402.1.5) | |

¹ Please attach documentation and calculations to substantiate compliance.

² If the Simulated Performance or ERI Alternative is selected please attach necessary documentation to show compliance. Complete third party documentation of compliance must be submitted at time of final inspection.

MINIMUM INSULATION VALUES FOR PRESCRIPTIVE METHOD

Door and Window U-Factor	Skylight U-Factor	Ceiling R-Value	Wood Frame Wall R-Value	Mass Wall R-Value	Floor R-Value	Basement Wall R-Value	Slab R-Value/Depth	Crawlspace Wall R-Value
0.35	0.55	49	19 or 15+2 ^h	13/17	30	10/13	10/2 ft	15/19

^h 15+2 means R-15 cavity insulation plus R-2 insulated sheathing. If the building is continuously sheathed with structural panels, insulated sheathing may be omitted.

INSULATION DATA:

Enter the appropriate values for the scope of work that coincide with the compliance method selected above. This data is required for all methods of compliance

19 Wall R-Value (wood frame or mass)

N/A Crawlspace Wall R-Value

49 Ceiling R-Value

0 Slab perimeter R-Value (24" minimum)

30 Floor R-Value

.35 Glazing U-Factor

10 Basement Wall R-Value

.35 Door(s) U-Factor

INSPECTION REQUIREMENTS:

Section R402.4 of the IECC requires the thermal envelope to be sealed to limit infiltration. The IECC requires the thermal envelope to be visually inspected and tested to demonstrate compliance with building envelope tightness requirements. Selection of the method of compliance shall occur when the Building Frame Inspection is scheduled. Below is a summary of the methods.

1. Third party visual inspection and testing with documentation required at time of final inspection.
2. RBD visual inspection and third party testing with documentation required at time of final inspection.

NOTE: The Simulated Performance and Energy Rating Index Alternatives requires third party inspections.

R402.1.2 Insulation and fenestration criteria.

The *building thermal envelope* shall meet the requirements of Table R402.1.2, based on the climate zone specified in Chapter 3.

TABLE R402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT^a

CLIMATE ZONE	FENESTRATION U-FACTOR ^b	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC ^{b, e}	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE ⁱ	FLOOR R-VALUE	BASEMENT ^c WALL R-VALUE	SLAB ^d R-VALUE & DEPTH	CRAWL SPACE ^e WALL R-VALUE
1	NR	0.75	0.25	30	13	3/4	13	0	0	0
2	0.40	0.65	0.25	38	13	4/6	13	0	0	0
3	0.35	0.55	0.25	38	20 or 13+5 ^h	8/13	19	5/13 ^f	0	5/13
4 except Marine	0.35	0.55	0.40	49	20 or 13+5 ^h	8/13	19	10/13	10, 2 ft	10/13
5 and Marine 4	0.32	0.55	NR	49	20 or 13+5 ^h	13/17	30 ^g	15/19	10, 2 ft	15/19
6	0.32	0.55	NR	49	20+5 or 13+10 ^h	15/20	30 ^g	15/19	10, 4 ft	15/19
7 and 8	0.32	0.55	NR	49	20+5 or 13+10 ^h	19/21	38 ^g	15/19	10, 4 ft	15/19

For SI: 1 foot = 304.8 mm.

- R-values are minimums. U-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the installed R-value of the insulation shall not be less than the R-value specified in the table.
- The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration. Exception: Skylights may be excluded from glazed fenestration SHGC requirements in climate zones 1 through 3 where the SHGC for such skylights does not exceed 0.30.
- "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
- R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Climate Zones 1 through 3 for heated slabs.
- There are no SHGC requirements in the Marine Zone.
- Basement wall insulation is not required in warm-humid locations as defined by Figure R301.1 and Table R301.1.
- Or insulation sufficient to fill the framing cavity, R-19 minimum.
- The first value is cavity insulation, the second value is continuous insulation, so "13+5" means R-13 cavity insulation plus R-5 continuous insulation.
- The second R-value applies when more than half the insulation is on the interior of the mass wall.

SECTION RBC308 - ENERGY CONSERVATION CODE

RBC308.1 SHORT TITLE. This section will be known and cited as the Energy Conservation Code.

RBC308.2 SCOPE. The Energy Conservation Code shall apply in accordance with Section 101.2 of the International Energy Conservation Code, 2015 Edition as follows:

1. Section C101.2 for *commercial buildings*
2. Section R101.2 for *residential buildings*

RBC308.3 CODE ADOPTED BY REFERENCE.

There is hereby adopted by reference the International Energy Conservation Code, 2015 Edition, of the International Code Council, 4051 West Flossmoor Road, Country Club Hills, IL 60478-5795, 2015 Edition. Three (3) copies of the Code are now filed in the office of the Clerk of the Jurisdiction and may be inspected during regular business hours. The Code is being adopted as if set out at length, to include the International Energy Conservation Code Appendix.

RBC308.4 ADDITIONS AND MODIFICATIONS. The adopted Code is subject to the following additions and modifications:

RBC308.4.1 Section C103.1 General. Delete and replace with the following:

C103.1. General. Construction documents and other supporting data shall be submitted in one or more sets with each application for a permit. The construction documents shall be prepared by a design professional licensed in the State of Colorado or by qualified persons as approved by the Building Official.

Exception: The Building Official is authorized to waive the requirements for construction documents or other supporting data if the Building Official determines they are not necessary to confirm compliance with this code.

RBC308.4.2 Section C107 FEES. Delete.

RBC308.4.3 Section C108 STOP WORK ORDER. Delete.

RBC308.4.4 Section C109 BOARD OF APPEALS. Delete.

RBC308.4.5 Section C402.4.2 Minimum skylight fenestration area. Delete "Exception 1" and replace with the following:

1. Buildings in *Climate Zones* 5 through 8.

RBC308.4.6 Section R103.1 General. Delete and replace with the following:

R103.1. General. Construction documents and other supporting data shall be submitted in one or more sets with each application for a permit. The construction documents shall be prepared by a design professional licensed in the State of Colorado or by qualified persons as approved by the Building Official.

Exception: The Building Official is authorized to waive the requirements for construction documents or other supporting data if the Building Official determines they are not necessary to confirm compliance with this code.

RBC308.4.7 Section R107 FEES. Delete

RBC308.4.8 Section R108 STOP WORK ORDER. Delete.

RBC308.4.9 Section R109 BOARD OF APPEALS. Delete.

RBC308.4.10 Section R402.1 General (Prescriptive). Add the following exception:

3. Detached accessory structures in conjunction with one and two family dwellings not intended for human occupancy.

RBC308.4.11 Section R402.1.1 Vapor retarder. Delete

RBC308.4.12 Table R402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT. Under the "Basement Wall R-Value" Column for Climate Zone 5 delete "15/19" and replace with "10/13".

RBC308.4.13 Table R402.1.4 EQUIVALENT U-FACTORS. Under the "Basement Wall U-Factor" Column for Climate Zone 5 delete 0.050 and replace with 0.059.

RBC308.4.14 Section R402.4 Air leakage (Mandatory). Add the following exception:

Exception: R-2 occupancies which comply with Section C402.5.

RBC308.4.15 Section R402.4.1.2 Testing. In the first sentence delete "three air changes per hour in Climate Zones 3 through 8." and replace with "five air changes per hour in Climate Zones 3 through 8."

RBC308.4.16 Section R402.4.4 Rooms containing fuel-burning appliances. Add the following exception:

3. Fuel-burning appliances equipped with a listed power vent approved for the specific application as approved by the Building Official.

APPENDIX J: CITY OF WOODLAND PARK

The City Council of the City of Woodland Park, Colorado, adopted **Ordinance No. 1321, Series 2018** on second reading on **May 3, 2018**, adopting the 2017 edition of the Pikes Peak Regional Building Code by reference, as amended.

The following is an excerpt of the modifications to the Pikes Peak Regional Building Code (hereinafter referred to as the "2017 RBC Edition"):

Section RBC308 – ENERGY CONSERVATION CODE. Amend the section as follows:

- A. Delete Fenestration U-Factor 0.32 from Climate Zone 5 B per Table R402.1.2 and replace with 0.35.
- B. Delete "20 or 13+5" from the Wood Frame Wall R-Value column from Climate Zone 5 B per Table R402.1.2 and replace with "19 or 15+2"; further, modify Footnote h as follows: "15+2 means R-15 cavity insulation plus R-2 insulated sheathing. If the building is continuously sheathed with structural panels, insulated sheathing may be omitted."
- C. Delete IECC Section R402.4.1 and replace with the following:

R402.4.1 Building Thermal Envelope. The building thermal envelope shall be demonstrated to comply with either section 402.4.1.1 **or** section 402.4.1.2.

Further, delete IECC Section R402.4.1.1 and replace with the following:

R402.4.1.1 Visual Inspection. The *building thermal envelope* shall be considered acceptable when the components are installed in accordance with the manufacturer's instructions and the criteria listed in table R402.4.1.1. Where required by the code official, an approved third party shall inspect the *building thermal envelope*.

- D. Delete IECC Section R403.5.4 regarding the drain water heat recovery units.

PIKES PEAK REGIONAL BUILDING DEPARTMENT

2880 International Circle
Colorado Springs, Colorado 80910
Website: <http://www.pprbd.org>

Permit #: O13710

Plan #: R160667

161 W DEWELL RD
WOODLAND PARK, CO 80863
Owner: JOHNSON, SCOTT E, 3039163937

101: NEW SINGLE FAMILY HOUSING
RESIDENCE

ATTACHMENTS

D	Contractor	Issued	S	comment
B	HOME PRO SERVICES LLC	05/31/2022	F	

HISTORY

Contractor	Date	Code	S	Inspector	Comment
HOME PRO SERVICES LLC	08/17/2023 08:31 AM	B=	C	ERAMIREZ	All other required Final inspections are complete. (This is a computer generated result)
HOME PRO SERVICES LLC	08/14/2023 11:37 AM	B=	P	ERAMIREZ	Additional Inspections Required (computer generated): External Agency Inspection N= by WP ENGINEERING is not Completed yet.
WOODLAND PLUMBING, HEATING & AIR CONDITIONING LLC	08/14/2023 07:37 AM	H=	C	BILLS	GARAGE HEATER, AND VENTING REMOVED. GAS LINE CAPPED.
HOME PRO SERVICES LLC	08/10/2023 12:18 PM	B=	P	ERAMIREZ	Building final okay pending Mechanical inspector verifying garage heater removed per Senior Mechanical Inspector Whitney. All other corrections okay. -- Schedule a new Building Final when above items are complete. Additional Inspections Required (computer generated): External Agency Inspection F= by FIREDEPT is not Completed yet, External Agency Inspection N= by WP ENGINEERING is not Completed yet.
HOME PRO SERVICES LLC	08/10/2023 07:57 AM	BSP	P	ERAMIREZ	FX lumber guard AM&M on file.
HOME PRO SERVICES LLC	08/10/2023 07:57 AM	BSP	R	ERAMIREZ	FX lumber guard installer cert already on file.
HOME PRO SERVICES LLC	08/10/2023 07:56 AM	BSP	P	ERAMIREZ	FX lumber guard installer cert on file.
HOME PRO SERVICES LLC	08/09/2023 01:14 PM	B=	R	ERAMIREZ	Garage heater installed, need to complete BFI. / Missing carbon monoxide detector for master bedroom due to fuel burning appliance. / Top flange cut by master bathroom tub. / Provide installer cert and FX lumberguard. / Partial basement finish. / Upper/lower rear decks with cover. / No a/c. Additional Inspections Required (computer generated): External Agency Inspection F= by FIREDEPT is not

HOME PRO SERVICES LLC	08/09/2023 01:14 PM	B=	R	ERAMIREZ	Completed yet, External Agency Inspection N= by WP ENGINEERING is not Completed yet.
HOME PRO SERVICES LLC	08/09/2023 08:06 AM	BFR	C	ERAMIREZ	Engineer observation letter for deck on file.
WOODLAND PLUMBING, HEATING & AIR CONDITIONING LLC	07/14/2023 07:31 AM	H=	P	BILLS	Update 8/10/23 WH: Following communication from building inspector, garage does not meet IECC slab insulation requirements for conditioning /Mechanical final changed to partial to facilitate inspection / General contractor elected removal of garage heater /Garage heater gas outlet to be capped, heater and vent to be removed / CORRECTIONS MADE, SEE IMAGES WHOLE HOUSE VENTILATION BEING ACHIEVED WITH DAMPERED OUTSIDE AIR DUCT TO FURNACE RETURN. / WHOLE HOUSE VENTILATION SWITCH LOCATED AT FURNACE / NOTE / CONDITIONED CRAWLSPACE / PARTIAL FINISHED BASEMENT / DIRECT VENT FURNACE / DIRECT VENT TANKLESS WATER HEATER / NO A/C / OUTSIDE AIR WITH DAMPER TO FURNACE RETURN /
WOODLAND PLUMBING, HEATING & AIR CONDITIONING LLC	07/14/2023 07:21 AM	P=	C	TRAVISR	SEE IMAGES FOR CORRECTIONS
WOODLAND PLUMBING, HEATING & AIR CONDITIONING LLC	07/13/2023 11:25 AM	P=	P	TRAVISR	Need Mixing Valve @ Master Tub Filler / Rest OK Submit Detailed Photo Of Corrections With Inspection Request Note: No Irrigation Stub
WOODLAND PLUMBING, HEATING & AIR CONDITIONING LLC	07/13/2023 10:29 AM	H=	P	BILLS	GARAGE HEATER VENT LACKS CLEARANCE AT CEILING AND WALL. NEED FIRE-PIT INSTALLATION INSTRUCTIONS TO CONFIRM CLEARANCES TO ABOVE COMBUSTIBLES (CURRENTLY HAS 105" CLEARANCE TO SOFFIT). CONTRACTOR TO ATTACH PICTURES AT NEXT INSPECTION REQUEST. WHOLE HOUSE VENTILATION BEING ACHIEVED WITH DAMPERED OUTSIDE AIR DUCT TO FURNACE RETURN. / WHOLE HOUSE VENTILATION SWITCH LOCATED AT FURNACE / NOTE / CONDITIONED CRAWLSPACE / PARTIAL FINISHED BASEMENT / DIRECT VENT FURNACE / DIRECT VENT TANKLESS WATER HEATER / NO A/C / OUTSIDE AIR WITH DAMPER TO FURNACE RETURN /
WATTZ UP ELECTRIC, LLC	07/07/2023 04:10 PM	E=	C	JOHNN	notes: no a/c
WATTZ UP ELECTRIC, LLC	07/07/2023 04:10 PM	ES	C	JOHNN	Residential Underground: 200-amp 3 Wire New Residence , no action needed, meter is set.
WATTZ UP ELECTRIC, LLC	03/23/2023 07:37 AM	ES	P	JOHNN	Residential Overhead: 200-amp 3-wire new res, , ok to set meter/ still need previous correct, see notes.

WATTZ UP ELECTRIC, LLC	03/14/2023 03:21 PM	ES	P	JOHNN	Residential Overhead: 200-amp 3 Wire New Residence ok to set meter. / need to crimp GEC in sub panel and still bond can/ Call John with questions, 719 -290-4058.
WATTZ UP ELECTRIC, LLC	03/09/2023 04:20 PM	ES	R	JOHNN	Residential Underground: need UFER to outside main disco/ notes: inside panel is floated/
HOME PRO SERVICES LLC	03/01/2023 10:55 AM	BIN	R	ANGELW	Pending completed frame inspection
HOME PRO SERVICES LLC	03/01/2023 07:38 AM	BSP	P	ANGELW	Engineer observation of framing modifications on file
HOME PRO SERVICES LLC	02/21/2023 01:24 PM	BFR	P	ERAMIREZ	Provide observation letter for portal shear due to covered prior to inspection. / Observed all other frame corrections. / Front/rear porch lids okay. / Rear porch lid missing corbels. / Still need to inspect rear deck, okay at a later date under a BSP inspection. / Finished basement. / Rear decks. /
HOME PRO SERVICES LLC	02/21/2023 08:02 AM	BFD	C	ERAMIREZ	All required paperwork on file.
HOME PRO SERVICES LLC	02/21/2023 08:02 AM	BFN	C	ERAMIREZ	All required paperwork on file.
HOME PRO SERVICES LLC	02/21/2023 08:01 AM	BFT	C	ERAMIREZ	open hole on file -- 3000PSF -- usable -- 5% / footing and foundation observation on file - ufer noted / foundation design on file (bearing capacity verified) /
HOME PRO SERVICES LLC	02/17/2023 07:45 AM	BSP	P	ERAMIREZ	Engineer letter for framing changes on file.
HOME PRO SERVICES LLC	02/01/2023 01:53 PM	BFR	R	ERAMIREZ	Complete foundation inspections prior to requesting any further field inspections. (STOPPED INSPECTION, ONLY MAIN LEVEL INSPECTED.) Not dry in - missing roof jacks. / Portal shear not inspected due to covered up prior to inspection. / Missing king studs for portal opening. / Missing H2.5 for J06A truss in garage. / Missing cap hardware for AGR girder to post. / Rear great room wall not done per plans. / Missing HU66 for 6x6 post at top and bottom in master bedroom. / Missing H2.5 for trusses in master bathroom. / Missing 3rd 2x4 stud for HG01 girder in master bathroom. / Missing stud under girder BG01. / Fireplace framing to 2x6 (currently 2x4). Still need to inspect trusses, rear deck, rear patio cover and basement. /
WOODLAND PLUMBING, HEATING & AIR CONDITIONING LLC	01/25/2023 10:04 AM	HC	C	BILLS	RELEASE METER
WOODLAND PLUMBING, HEATING & AIR CONDITIONING LLC	01/25/2023 10:04 AM	HI	C	BILLS	**ATTN: BOTH GAS STUBS UNDER MAIN DECK TO BE TIFF TESTED FROM FIRST CONNECTION UNDER DECK TO APPLIANCE AS NO SHUT-OFF VALVES ARE INSTALLED AT TIME OF ROUGH INSPECTION** 10 LB TEST OK / 2 INCH MAIN / 1 FURNACE / 1 TANKLESS WATER HEATER / 1 RANGE / 1 DRYER / 2 FIREPLACES / 2 EXTERIOR STUBS UNDER MAIN LEVEL DECK (1-1/4" @ 138' OK FOR 322K,, 1" @93' OK FOR 195K) /

WOODLAND PLUMBING, HEATING & AIR CONDITIONING LLC	01/25/2023 09:59 AM	HRR	C	BILLS	**ATTN: BOTH GAS STUBS UNDER MAIN DECK TO BE TIEF TESTED FROM FIRST CONNECTION UNDER DECK TO APPLIANCE AS NO SHUT-OFF VALVES ARE INSTALLED AT TIME OF ROUGH INSPECTION** BY FINAL: CONFIRM WATER HEATER VENT CONNECTIONS IN MECH ROOM AS WATER HEATER IS NOT INSTALLED AT TIME OF HRR. WHOLE HOUSE VENTILATION BEING ACHIEVED WITH DAMPERED OUTSIDE AIR DUCT TO FURNACE RETURN. / NOTE / CONDITIONED CRAWLSPACE / DIRECT VENT FURNACE / DIRECT VENT TANKLESS WATER HEATER / NO A/C / OUTSIDE AIR WITH DAMPER TO FURNACE RETURN / GARAGE UNIT HEATER /
WESTERN FIREPLACE SUPPLY, INC.	01/25/2023 09:58 AM	HV	C	BILLS	NOTE / MAIN LEVEL FIREPLACE CLEARANCE TO COMBUSTIBLES AND VENT TERMINATION OK X2 / NON-COMBUSTIBLE MATERIALS INSTALLED X2 /
WOODLAND PLUMBING, HEATING & AIR CONDITIONING LLC	01/25/2023 07:34 AM	PTO	C	TRAVISR	Correction Made
WOODLAND PLUMBING, HEATING & AIR CONDITIONING LLC	01/20/2023 10:49 AM	HRR	P	BILLS	NEED DRYER EXHAUST COMPLETED INTO WALL BOX, COMPLETE FURNACE AND WATER HEATER VENTING, INSTALL GARAGE HEATER VENTING. WHOLE HOUSE VENTILATION BEING ACHIEVED WITH DAMPERED OUTSIDE AIR DUCT TO FURNACE RETURN. / NOTE / CONDITIONED CRAWLSPACE / DIRECT VENT FURNACE / DIRECT VENT TANKLESS WATER HEATER / NO A/C / OUTSIDE AIR WITH DAMPER TO FURNACE RETURN /
WOODLAND PLUMBING, HEATING & AIR CONDITIONING LLC	01/20/2023 10:45 AM	HI	P	BILLS	FIELD CANCELLED BY CONTRACTOR ON ARRIVAL
WOODLAND PLUMBING, HEATING & AIR CONDITIONING LLC	01/20/2023 10:43 AM	PTO	P	TRAVISR	Need Nail Protection Through Out / Can Not Pull Rear Hose Bibb Feed Off 1/2 Pex / Rest OK Submit Photo To Complete Note: Partially Finished Basement / No Irrigation Stub / AAV @ All Lav's / Mixing Valve Under Tub With Access Buy Final / Garage Sink Trap Inside 2nd 2x6 Wall / 3 Total Ice Makers / 1-VTR
WESTERN FIREPLACE SUPPLY, INC.	01/13/2023 11:22 AM	HV	P	MATTM	BEDROOM FIREPLACE NEEDS FRAMING AROUND VENT TO BE COMPLETED. NON- COMBUSTIBLE FACING MATERIAL INSTALLED / LIVING ROOM FIREPLACE OK /
WATTZ UP ELECTRIC, LLC	12/05/2022 03:59 PM	ER	C	BRIAN	
WATTZ UP ELECTRIC, LLC	11/28/2022 03:26 PM	ER	R	JOHNN	need fireplace framing complete behind living rm fireplace/ verify wattage of bath ceiling heater/ add recep at pocket door in basement/ pantry receps need to be 20 amp circuit/ need metal box at

WATTZ UP ELECTRIC, LLC	11/28/2022 03:26 PM	ER	R	JOHNN	furnace disco for mc cable/ notes: no floor heat, no jet tub, 2-8cu nm/ no mcc, rev ufer/ 1/2 unfinished basement.
HOME PRO SERVICES LLC	07/12/2022 02:38 PM	BFT	P	ERAMIREZ	Provide observation letters for footings and foundation walls. / Observed pads forms and rebar reinforcement per foundation design. /
HOME PRO SERVICES LLC	06/16/2022 02:57 PM	BFD	P	ERAMIREZ	Complete BFN & BFT inspection. / Drain is entire to daylight southwest corner of home -- Damp proofing OK /
HOME PRO SERVICES LLC	06/13/2022 08:03 AM	BSP	P	ERAMIREZ	Soils report on file
HOME PRO SERVICES LLC	06/06/2022 12:19 PM	BFT	P	ERAMIREZ	Authorized 3rd party engineer inspection with all observation paperwork to follow /
HOME PRO SERVICES LLC	06/06/2022 07:30 AM	BFT	P	ERAMIREZ	open hole on file -- 3000PSF -- entire -- 5% / foundation design in plans (bearing capacity verified) /

EXTERNAL HISTORY

Contractor	Date	Code	S	Inspector	Comment
HOME PRO SERVICES LLC	08/10/2023 02:29 PM	F=	C	DBURGESS	N/A per Plan Review
HOME PRO SERVICES LLC	08/17/2023 08:31 AM	N=	C	DBURGESS	Appears to have met City requirements per staff review & City Inspector's site visit. OK for CO.

AARON HAMILTON
HAMILTON HANDCRAFTED
ROYSE CITY, TX / 972-533-0959
AARON@HAMILTONHANDCRAFTED.COM

ROUGH-IN - 1F

JOHNSON RESIDENCE
161 W. DEWELL RD
WOODLAND PARK, CO
80863



DATE:

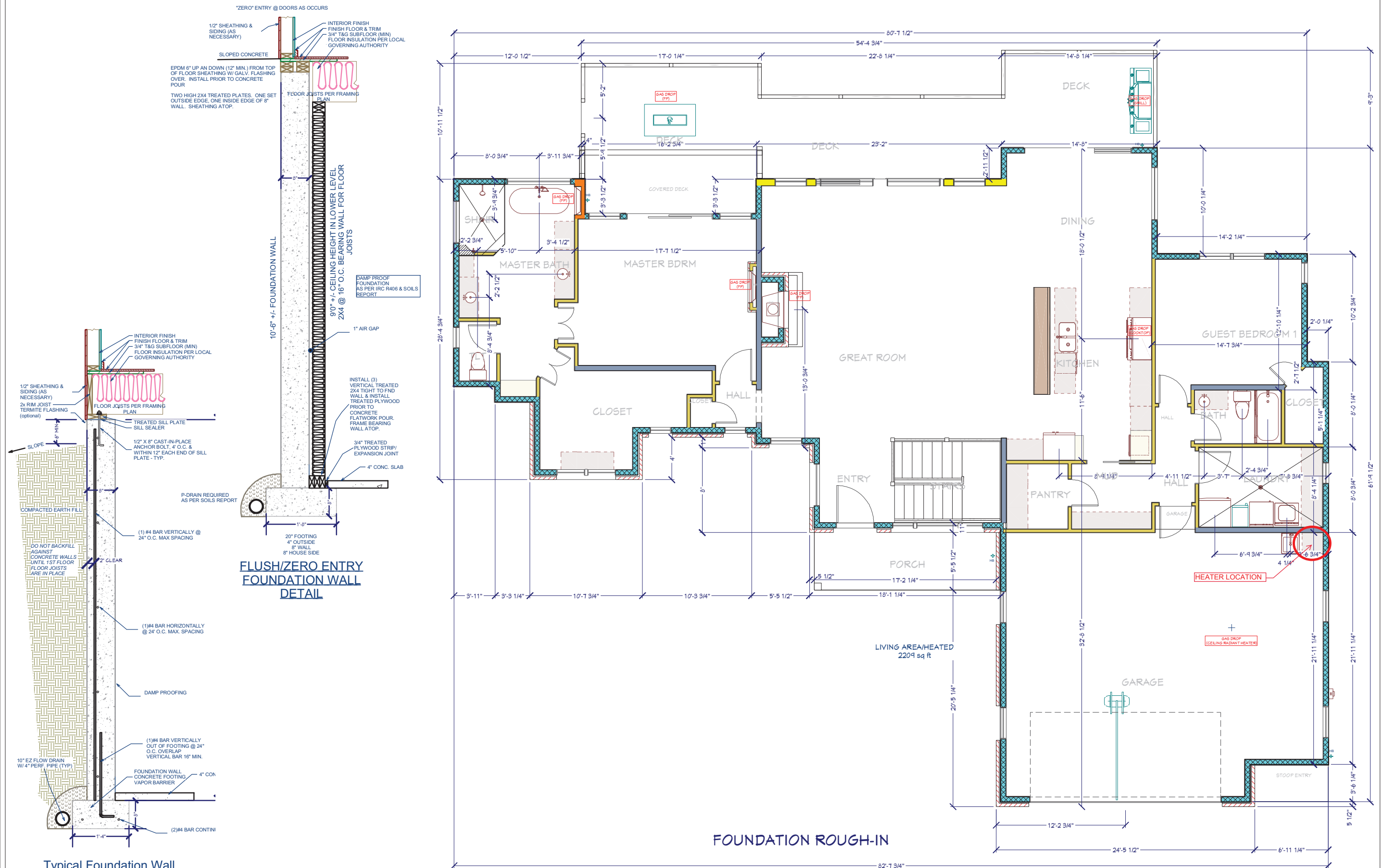
/11/2022

SCALE:

$$1/4'' = 1'$$

SHEET:

1









ITEM VI.B
VAR2023-05(B)

Planning Application Entry Form

Print Record



Go To Development Fees Receipt Form



ID

Permit Number 202309276

Project # EXT/Case # VAR2023-05(B)

Public Hearing Required ☐

Date Received 9/6/2023

Date Routed 9/7/2023

Date Initial Permit Approved

*Date Permit Paid 9/6/2023

Open Permit Comments

*NOTE: If Non-profit enter Date Approved in Date Permit Paid field for report

Project Type VAR

Project Type Number 11

Project Classification Building Code Varian

Non-Profit, Residential or Commercial Residential

Date CO Requested

Temp CO Auth Approved

Date Temp CO Expires

NOTE: Above Field required only for SINS and TUPs

Project Name 530 Hikers Way Crawl Space

Site Address Number 530

Site Address Name Hikers Way

Lot Number 15

Block Number -

Subdivision Trailhead Townhome

Filing # 1

Applicant Business Name Habitat for Humanity

App First Name Sara

App Last Name Vestil

App Phone Number 719-687-4447

PO Box 339

Mailing Address Street # -

Mailing Address Street Name -

City Woodland Park

State CO

Zip Code 80866

Owner First Name Habitat for Humanity

Owner Last Name -

Zone Class MFU

Applicant Project Value \$0.00

UTILITIES SECTION

Tap Allocation Date

Allocation Exp Date

Water Tap #

Sewer Tap #

Tap Paid Date

Tap Exp Date

Taps Refunded ☐

Inside/Outside User

Meter Installed ☐

Filed in Area

Dave's office

Teller County Property Records

Property Record

Acct No:R0057494



Map



[Full Screen Map](#) [Vacant Land Sales Map](#) [Comps Worksheet](#)

Ownership

Account No	R0057494
Parcel Id	6229.132810150
Notice of Value	PDF of 2023 Notice of Value
Actual	\$7,468
Assessed	\$2,080
Acct Type	Vacant Land
Owner Name	HABITAT FOR HUMANITY OF TELLER COUNTY, INC. A COLORADO NONPR
Mailing Address	PO BOX 339 WOODLAND PARK, CO 808660339

Location

Physical Address	530 HIKERS WAY
School Dist	RE-2
Acres	0.036000
Map No.	6229
Tax Dist	62
Area	JAMESTOWN SQUARE
Brief Legal	L15 TRAILHEAD TOWNHOMES 1

Brief Legal Description is not intended for use on legal documents

Zoning

Land Attributes

Land Type	Abst Code	Acres
Vacant	0101	0.04

Building Information (provided by Assessor)

Transfers (provided by Assessor)

Sale Date	Reception No	Deed Type	Sale Price
01/12/2022	747520	Plat	\$0

Building Permits

Date	Permit No.	Description	Permit Issued By
------	------------	-------------	------------------

Property Tax History (provided by Treasurer)

Delinquent taxes are not shown on this website.

[Tax detail on Treasurers Web Site \(Note: Select Public User Login Button if prompted\).](#)

[Tax Payment Web site](#)

Authority	Mil Levy	Amount
TELLER COUNTY	14.64	\$7.90
RE-2 SCHOOL DIST	27.924	\$15.09
CITY OF WOODLAND PARK	15.75	\$8.51
NE TELLER COUNTY FIRE	14.718	\$7.95
RAMPART LIBRARY	4.119	\$2.22
UPPER SO PLATTE WCD	0.13	\$0.07
UTE PASS REGIONAL HEALTH	3.99	\$2.16
TOTAL	81.27100	\$43.90

Tax Year	Tax Amount
2022	\$43.90

About

The contributing Teller County Offices keep the information shown on this web site as current and as accurate as possible

Disclaimer

The Information Provided on this site is as accurate and complete as reasonably possible. Use of this information is the sole responsibility of the user, and Teller County assumes no liability associated with the use or misuse of this information

Contributors

Assessor

Treasurer

Clerk and Recorder

Community Development
Services Division (CDSD)

Mail comments or suggestions to web developer

Teller County Information Technology © 2022

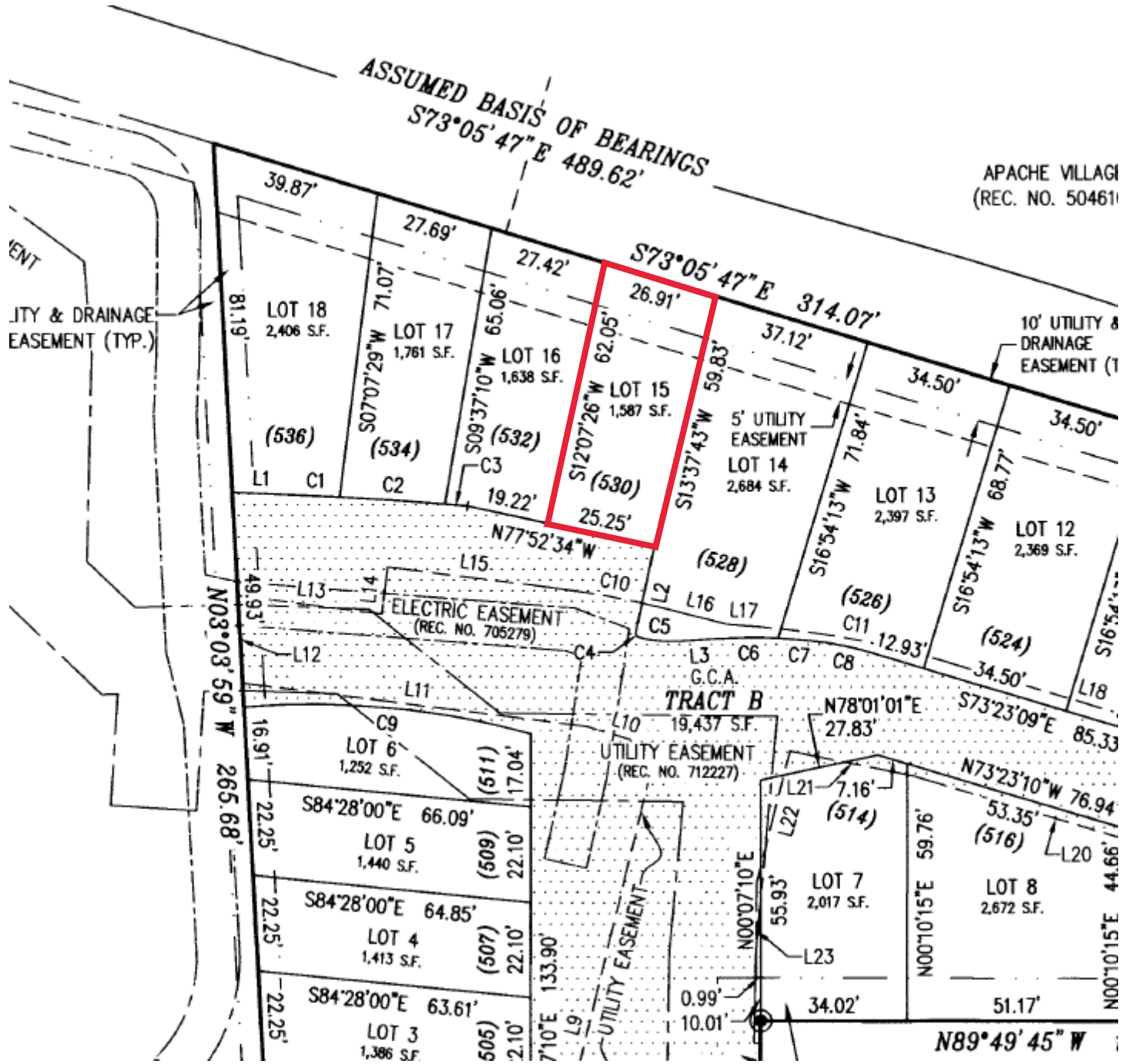


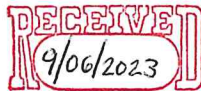
ASSUMED BASIS OF BEARINGS
S73°05'47"E 489.62'

APACHE VILLAGE
(REC. NO. 50461)

UTILITY & DRAINAGE
EASEMENT (TYP.)

10' UTILITY &
DRAINAGE
EASEMENT (TYP.)





**2023 BUILDING CODE
VARIANCE REQUEST
Woodland Park Board of Review
(Revised 1/1/2023)**

VAR2023-05(B)
Project # 202309276
Date Received: _____
Fee: \$75.00
(pd) \$75.00
check # 7995

TYPE: ☒ Variance ☐ Appeal ☐ Complaint

Note: The City relies upon information found in this application. You are encouraged to obtain a proper survey to verify lot lines and other information.

1. Applicant Information

- a. Applicant Name Habitat for Humanity of Teller County
b. Contractor ☐ Property Owner ☒

2. Property Owner Information

- a. Name Habitat for Humanity of Teller County Project Contact: Yes ☒ No ☐
b. Mailing Address P.O. Box 339, Woodland Park, CO 80866
c. E-mail Address execdir@tellerhabitat.org (Sara Vestal, interim Exec. Dir.)
d. Phone Numbers: Home _____ Work 719.687.4447 Mobile _____

3. Contractor Information

- a. Name Martine Y. Vogel Project Contact: Yes ☒ No ☐
b. Mailing Address P.O. Box 1813, Woodland Park, CO 80866
c. E-mail Address martine@openrangeconstruction.com
d. Phone Numbers: Home _____ Work 719.630.8767 Mobile 719.896.6149
e. Contractor License # 22368 WP Business License # 007515

4. Site Information

- a. Site Address 530 Hikers Way, Woodland Park, CO 80863
b. Lot 16 ¹⁵ Block _____ Subdivision Trailhead Townhomes Filing No. 1
c. Property Zoning _____ Lot Size 1587 Acres ☐ Square Feet ☒

5. Request

- a. Cite applicable Code sections: RBC 303.4.1 Crawl Space, 2017 PPRBC
b. Description and reason of request (Attach appropriate materials, photographs, sketches or plans) _____
Crawlspace exceeds 5' allowable crawlspace height by 3". Requesting variance
due to financial hardship posed by requiring Habitat to reduce the average height.
There is no structural concern with exceeding the 5' in the crawlspace.

➡ Builder/Applicant Signature Sara Vestal Date 9/6/2023
➡ Property Owners Signature Sara Vestal Date 9/6/2023

The applicant MUST ATTEND meetings to represent the request.



August 22, 2023

To whom it may concern,

Habitat for Humanity of Teller County approves the variance request for the crawl space height at 530 Hiker's Way.

Thank you,

Sara Vestal

Sara Vestal

Interim Executive Director
Habitat for Humanity of Teller County
execdir@tellerhabitat.org

Innovative Engineering Solutions, LLC

P.O. 1595 Colorado Springs, Co 80901 E-mail: matco11749@msn.com Phone: 719-649-0560

Regional Building Department
El Paso County
2880 International Circle
Colorado Springs, Co. 80910

Re: Habitat Project
530 Hikers Way
Woodland Park, Co.

08/25/2023

To whom it may concern:

The design of the crawlspace walls will be structural sound with a wall height of 5'3" which is what they built to.

If there are any questions regarding this inspection, please contact me.

Sincerely Yours;

Larry Matejcek, P.E.

SECTION RBC303 - RESIDENTIAL BUILDING CODE

RBC303.1 SHORT TITLE. This section will be known and cited as the Residential Building Code.

RBC303.2 SCOPE. The provisions of the Residential Building Code shall apply in accordance with Section RBC101.3 of this Code specifically to detached one- and two-family dwellings and townhomes not more than three (3) stories above grade plane in height with a separate means of egress and their accessory structures.

RBC303.3 CODE ADOPTED BY REFERENCE. There is hereby adopted by reference the International Residential Code for One-and Two-Family Dwellings of the International Code Council, 4051 West Flossmoor Road, Country Club Hills, IL 60478-5795, 2015 Edition. Three (3) copies of the Code are now filed in the office of the Clerk of the Jurisdiction and may be inspected during regular business hours. The Code is being adopted as if set out at length, to include the International Residential Code Appendices, save and except the following, which are declared to be non-applicable to the Jurisdiction and are therefore expressly deleted:

1. Chapter 1, Administration
2. Chapter 11, 12 and 25
3. Chapter 34 through 43
4. Appendix A through Appendix G
5. Appendix I through Appendix U

RBC303.4 ADDITIONS AND MODIFICATIONS. The adopted Code is subject to the following additions and modifications:

RBC303.4.1 Section R202 DEFINITIONS. Delete the definition of BASEMENT and replace with the following:

BASEMENT. That portion of a building that is partly or completely below grade plane, having a permanent floor of approved material and not defined as a crawlspace. (See the definitions of "Story above grade plane" in the International Residential Code, 2015 Edition and "Crawlspace" below.)

Add the following definitions:

CRAWL SPACE. An under-floor space between the bottom of a floor and the earth under any building that is not more than 5 feet (1,524 mm) in height measured from the average interior grade to the underside of the floor framing. (See Section R408 of the International Residential Code, 2015 Edition.)

GARAGE. An attached or detached, finished or unfinished structure or portion thereof provided with a vehicular access door and intended for storage of one or more motor vehicles.

SLEEPING ROOM. A habitable space used primarily for sleeping purposes and containing a closet 16 inches (406.4 mm) or greater in depth.

See Appendix D of this Code for additional modifications to Section 202 of the International Residential Code, 2015 Edition, by the City of Colorado Springs.

RBC303.4.2 Table R301.2(1) Climatic and geographic design criteria. Delete and replace with the following:

TABLE R301.2(1)
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

FLAT ROOF SNOW LOAD ^a	WIND DESIGN (V_{ult})				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDER- LAYMENT REQUIRED ^c	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	Speed ^b (mph)	Topographic effects	Special Wind Region	Wind- borne debris zone		Weathering	Frost line Depth	Termite					
30/40	130 Exp. C (min)	NO	YES	NO	B	Severe	30 inches (762 mm)	Slight to moderate	0°F (-18°C)	YES	12/18/1986	1,000	45°F (7°C)

a. For buildings or structures with a grade plane below 7,000 ft (2,134 m) elevation, the flat roof snow load (p_f) shall be 30 pounds per square foot (1,436 N/m²) of horizontal projected area. For all buildings and structures with a grade plane at or above 7,000 ft (2,134 m) elevation, the flat roof snow load (p_f) shall be 40 pounds per square foot (1,915 N/m²) of horizontal projected area.

b. Ultimate design wind speed (V_{ult}) per ASCE 7-10, refer to Table R301.2.1.3 of the International Residential Code, 2015 Edition for conversion to nominal design wind speed (V_{asd}) as used in previous version of ASCE 7.

c. Required only for buildings and structures with a grade plane at or above 7,000 ft (2,134 m) elevation.

PIKES PEAK REGIONAL BUILDING DEPARTMENT

2880 International Circle
Colorado Springs, Colorado 80910
Website: <http://www.pprbd.org>

Permit #: N77410

Plan #: R152752

530 HIKERS WAY

WOODLAND PARK, CO 80863

Owner: HABITAT FOR HUMANITY OF TELLER, 7196874447

101: NEW SINGLE FAMILY HOUSING

SINGLE FAMILY ATTACHED

ATTACHMENTS

D	Contractor	Issued	S	comment
B	HIGH PERFORMANCE STRUCTURES INC.	10/19/2021	O	

HISTORY

Contractor	Date	Code	S	Inspector	Comment
HIGH PERFORMANCE STRUCTURES INC.	07/25/2023 12:39 PM	BTR	C	ERAMIREZ	
HIGH PERFORMANCE STRUCTURES INC.	07/18/2023 11:47 AM	BFR	C	ERAMIREZ	Will need to addressed crawl space height by final due to average height exceeding 5' throughout. / Still need to inspect front porch lid. /
HIGH PERFORMANCE STRUCTURES INC.	07/18/2023 11:27 AM	BFT	C	ERAMIREZ	All required documentation on file.
HIGH PERFORMANCE STRUCTURES INC.	07/18/2023 11:27 AM	BFN	C	ERAMIREZ	All required documentation on file.
HIGH PERFORMANCE STRUCTURES INC.	07/17/2023 07:15 AM	BFD	C	PAULP	Engineer letter for perimeter drain on file
HIGH PERFORMANCE STRUCTURES INC.	07/14/2023 07:31 AM	BFT	P	PAULP	open hole on file -- 2400 PSF -- usable -- 10% / footing and foundation observation on file - ufer noted / foundation design on file (bearing capacity verified) / Drain observation to follow
HIGH PERFORMANCE STRUCTURES INC.	07/12/2023 07:20 AM	BFN	P	PAULP	Stamped Foundation observation on file Still need soils and open hole and drain observation if noted in open hole
HIGH PERFORMANCE STRUCTURES INC.	07/12/2023 07:18 AM	BFR	P	PAULP	Detail for ICF ledger attachment on file
HIGH PERFORMANCE STRUCTURES INC.	06/13/2023 10:01 AM	BFR	R	PAULP	PVC boot at roof for dryin / detail for ledger attachments at floor framing / complete nailing at stair double LVL hardware / average height in crawl space 5 feet 3 inches Still need to complete all foundation observations
HIGH PERFORMANCE STRUCTURES INC.	06/13/2023 08:15 AM	BFT	P	ERAMIREZ	Provide open hole and soils report. / Engineer letter for footing - Ufer noted on file /

HIGH PERFORMANCE STRUCTURES INC.	06/13/2023 08:07 AM	BIN	P	INTERNET	Qualified third party energy inspection documentation must be presented at time of final building (B=) inspection
HIGH PERFORMANCE STRUCTURES INC.	06/05/2023 01:39 PM	BLA	C	ERAMIREZ	
HIGH PERFORMANCE STRUCTURES INC.	01/23/2023 07:57 AM	BFN	C	ERAMIREZ	Engineer letter for foundation on file -- Eufer not noted.
HIGH PERFORMANCE STRUCTURES INC.	08/23/2022 05:12 PM	BE	L	WEBSITE	Renewed for Half Fee at Aug 23 2022 5:12PM by (RECEIPT #: 1893880)
HIGH PERFORMANCE STRUCTURES INC.	10/19/2021 07:34 AM	BFT	P	JANE	AUTHORIZED INSPECTION BY ENGINEER
HIGH PERFORMANCE STRUCTURES INC.	10/19/2021 07:34 AM	BFN	P	JANE	AUTHORIZED INSPECTION BY ENGINEER
METHOD ELECTRIC LLC	05/31/2023 09:40 AM	ES	C	BRIAN	Residential Underground: 100-amp 3 Wire New Residence ok to set meter. /
METHOD ELECTRIC LLC	05/31/2023 09:40 AM	ER	C	BRIAN	
METHOD ELECTRIC LLC	05/02/2023 04:05 PM	EUG	C	JOHNN	1/0 al,4w,
RTB PROPERTIES LLC	06/06/2023 07:27 AM	HC	C	BILLS	RELEASE METER
RTB PROPERTIES LLC	06/06/2023 07:26 AM	HRR	C	BILLS	CORRECTIONS MADE, SEE IMAGES WHOLE HOUSE VENTILATION BEING ACHIEVED THROUGH EXHAUST FAN LOCATED IN 2ND FLOOR HALLWAY CEILING. NOTE / CONDITIONED CRAWLSPACE (ERV SYSTEM) / DIRECT VENT BOILER WITH DOMESTIC SIDE-ARM / HYDRONIC HEAT /
RTB PROPERTIES LLC	06/05/2023 09:58 AM	HRR	R	BILLS	LOCKED, NO ACCESS AT 9:58 A.M. NO CALL AHEAD NUMBER PROVIDED. CONTRACTOR TO ATTACH PICTURES AT NEXT INSPECTION REQUEST.
RTB PROPERTIES LLC	06/05/2023 07:33 AM	HRR	P	BILLS	PARTIAL CORRECTIONS MADE, SEE IMAGES
WOODLAND PLUMBING, HEATING & AIR CONDITIONING LLC	05/31/2023 10:45 AM	HI	C	BILLS	10 LB TEST OK / 1 INCH MAIN / 1 DIRECT VENT BOILER /
WOODLAND PLUMBING, HEATING & AIR CONDITIONING LLC	05/31/2023 10:44 AM	HWP	C	BILLS	NOTE / HYDRONIC PRESSURE TEST OK / STAPLE-UP PIPING OK AT MAIN AND UPPER LEVELS /
RTB PROPERTIES LLC	05/31/2023 10:42 AM	HRR	P	BILLS	DRYER EXHAUST REQUIRES NAIL PROTECTION AT WALL TOP PLATE, BOILER VENTING REQUIRES NAIL PROTECTION AT POWDER BATH WALL BOTTOM PLATES AND NEED SOFFIT FRAMING COMPLETED AT SAME. CONTRACTOR TO ATTACH PICTURES AT NEXT INSPECTION REQUEST. WHOLE HOUSE VENTILATION BEING ACHIEVED THROUGH EXHAUST FAN LOCATED IN 2ND FLOOR HALLWAY CEILING. NOTE / CONDITIONED CRAWLSPACE (ERV SYSTEM) / DIRECT VENT BOILER

RTB PROPERTIES LLC	05/31/2023 10:42 AM	HRR	P	BILLS	WITH DOMESTIC SIDE-ARM / HYDRONIC HEAT /
WOODLAND PLUMBING, HEATING & AIR CONDITIONING LLC	05/16/2023 12:11 PM	PTO	C	TRAVISR	By Final Need In Coming Sewer Line Sleeved / Rest Ok Note: 1-VTR /. No Irrigation Stub

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COPYRIGHT NOTE:

CRAWL SPACE VENTILATION:

VENTILATION PER IRC 408.3.1 & 2.1

Q= 1 CFM PER 50 SF OF CRAWLSPACE AREA.
Q= (428 SF / 50 SF) X 1 (CFM)

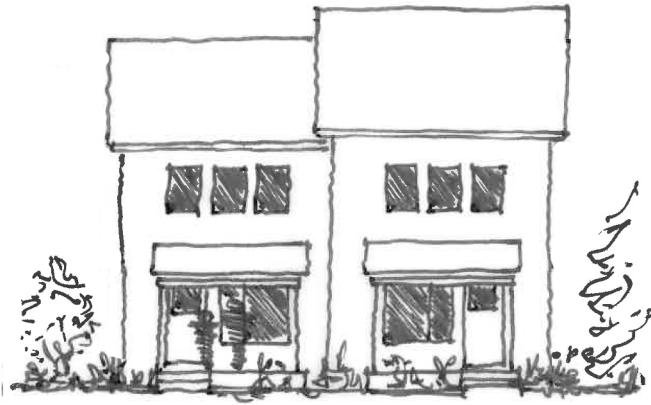
= 8.5 CFM, EXHAUST-REQUIRED
= 10 CFM, EXHAUST PROVIDED

ROOM FINISH SCHEDULE

NAME	FLOOR				BASE	WALLS	CEILING	CEILING HEIGHT	REMARKS	
	CONCRETE	WOOD	LVT	SHEET VINYL	WOOD	Gypsum BOARD	TILE	Gypsum BOARD		
CRAWL SPACE (001L,001R)	●					●		●	4' - 8"	
LIVING ROOM (100L, 100R)			●		●	●	●		9' - 1 1/8"	SEE ELEVATION FOR TILE PLACEMENT
KITCHEN (101L, 101R)			●		●	●	●		9' - 1 1/8"	
POWDER ROOM (102L, 102R)			●		●		●		9' - 1 1/8"	
STORAGE (103L, 103R)	●					●		●	9' - 1 1/8"	
STAIR (104L, 104R)		●			●	●		●	9' - 1 1/8"	
CLOSET (200L, 200R)					●	●		●	8' - 1 1/8"	
BEDROOM 2 (201L, 201R)			●		●	●		●	8' - 1 1/8"	
BATHROOM (202L, 202R)				●	●	●	●		8' - 1 1/8"	SEE ELEVATION FOR TILE PLACEMENT
BEDROOM 1 (203L, 203R)			●		●	●		●	8' - 1 1/8"	
CLOSET (204L, 204R)			●		●	●		●	8' - 1 1/8"	
LAUNDRY ROOM (205L, 205R)			●	●		●	●		8' - 1 1/8"	
HALL (206L, 206R)			●		●	●		●	8' - 1 1/8"	

GENERAL NOTES:

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- PROVIDE BLOCKING IN THE WALL AS REQUIRED TO SECURE COUNTERTOPS, CABINETS AND SHELVING.
- ALL DIMENSIONS ARE FROM FACE OF STUD, CABINETS, ROUGH OPENINGS OR CENTERLINE OF GRID UNLESS NOTED OTHERWISE.
- SUBMIT MILLWORK SHOP DRAWINGS AND FINISH SUBMITTALS TO OWNER FOR APPROVAL BEFORE FABRICATION OR INSTALLATION.
- ALL ROUGH AND FINISH CONSTRUCTION SHALL BE IN COMPLIANCE WITH GOVERNING CODES AND REGULATIONS AS A MINIMUM STANDARD.
- ALL EXTERIOR WALLS TO BE ICF UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS TO BE 2X4 UNLESS OTHERWISE NOTED.



Habitat for Humanity
of Teller County

TRAILHEAD TOWNHOMES BUILDING TYPE B

532 & 530 HIKERS WAY, WOODLAND PARK, CO 80863

KEY NOTES:

- 2' 8" x 2' 8" CRAWL SPACE ACCESS HATCH. PROVED FLUSH HANDLE, CONTINUOUS HINGE AND SECURE LATCH. FINISH TOP TO MATCH FLOOR WITH ALUM EDGE BAND
- PROVIDE FRAMED & FINISHED WALL WITH 2" SILL DEFLECTION. PROVIDE SECURE LADDER MOUNTED TO WALL. PAINT.
- 4" CONC. PAD WITH FIBER REINF.
- PROVIDE PLASTIC COVER OVER ALL EXPOSED GRADE IN CRAWL SPACE. USE THICKNESS AND FASTENING AS PER RADON CONSULTANT.
- ERV PROPOSED DUCT LAYOUT. SEE MECH. DWG. MOUNT TIGHT TO JOIST.
- MECH. INTAKE/EXHAUST THRU CONC. WALL. PROVIDE OPENING THRU WALL AT 1" LARGER DIA. THAN DUCT SIZE
- 6" PVC VERTICAL PIPE FOR RADON MITIGATION. SECURE TIGHT TO WALL IN CLOSETS. PAINT TO MATCH. EXHAUST AT GABLE SIDE WALL. OFFSET IN 2ND FLOOR JOISTS TO BE TIGHT AGAINST BACK OF CLOSET
- 8" WIDE WALL FOR DUCTING AND BUILT IN SHELVES. SEE ELEVATIONS.
- FURRED OUT SOFFIT OVER CABINETS. SEE ELEVATION.
- OPEN GUARDRAIL MOUNTED TO WOOD TREADS AND HALF WALL.
- SMALL VANITY TO FIT RESTROOM. VERIFY DIMENSIONS. SEE ELEVATION.
- OVER HANG COUNTER W/ 8" SUPPORTS
- FUTURE LOCATION OF PHOTOVOLTAIC INVERTER. PROVIDE 2" CONDUIT TO ATTIC AND 1" CONDUIT TO ELEC. PANEL.
- SEE ELECTRICAL PLAN FOR LIGHT FIXTURE AND SWITCH LOCATIONS.
- ERV FLOOR REGISTER OR WALL REGISTER, RE: MECH.
- ERV INTAKE IN BASE CABINET OR WALL. INTAKE SHALL BE 2'-6" AFF.

LEGEND:

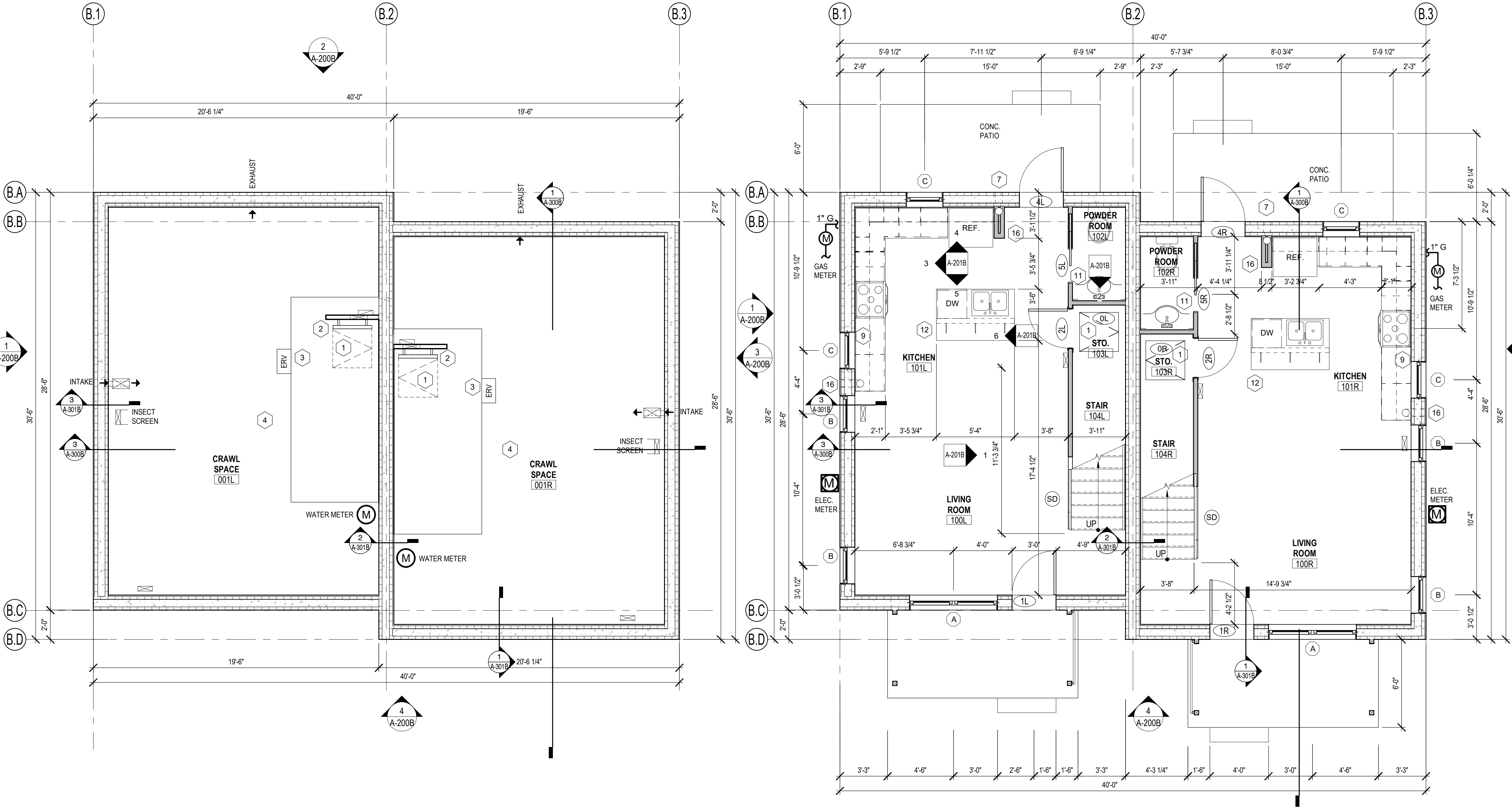
- ICF WALL CONSTRUCTION
- 2x STUD WALL CONSTRUCTION
- 2-HOUR RATED WALL SEPARATION
- CABINET / CASEWORK
- CABINET / CASEWORK / LINE ABOVE
- DOOR
- WINDOW
- POCKET DOOR
- FLOOR FINISH TRANSITION
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- BATH FAN

aw
ARCHITECTURAL WORKSHOP - DENVER, COLORADO

DATE	DESCRIPTION
07/09/2021	100% CONSTRUCTION DOCUMENTS
09/14/2021	UNIT B MODIFICATIONS

FIRST FLOOR PLAN
CRAWL SPACE PLAN

A-100B



2 CRAWL SPACE - UNIT B
1/4" = 1'-0"



1 FIRST FLOOR PLAN - UNIT B
1/4" = 1'-0"



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COPYRIGHT NOTE:

ROOF VENTILATION:

IRC R806.2
THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE.

EXCEPTION: THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET:

2. NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EASE OR CORNICE VENTS.

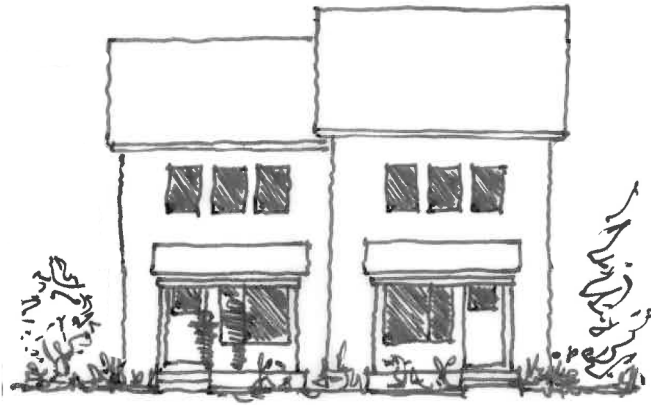
LEFT UNIT:
TOTAL ROOF AREA: 19' - 6" X 28' - 6" = 556 S.F.
REQUIRED VENTILATION: 556/300 = 266.88 SQ. IN.

VENTILATION PROVIDED AT ROOF: 4 X 98.75 SQ. IN. = 395 SQ. IN

RIGHT UNIT:
TOTAL ROOF AREA: 19' - 6" X 28' - 6" = 556 S.F.
REQUIRED VENTILATION: 556/300 = 266.88 SQ. IN.

VENTILATION PROVIDED AT ROOF: 4 X 98.75 SQ. IN. = 395 SQ. IN

ROOF VENT = O'HAGIN "FLAT" STYLE VENT
98.75 SQ. IN. NET FREE VENTILATION



Habitat for Humanity
of Teller County

TRAILHEAD TOWNHOMES BUILDING TYPE B

532 & 530 HIKERS WAY, WOODLAND PARK, CO 80863

GENERAL NOTES:

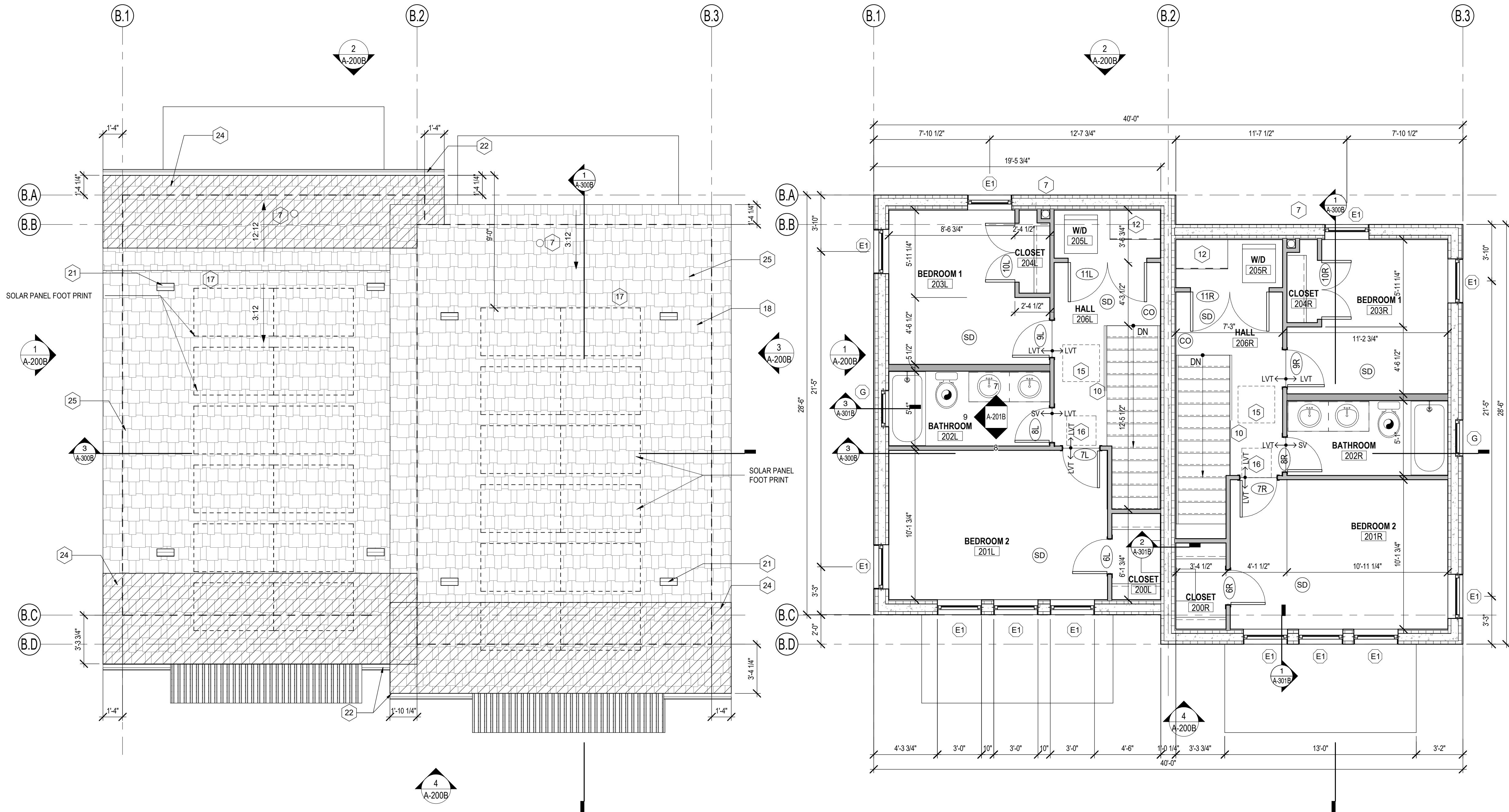
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- PROVIDE BLOCKING IN THE WALL AS REQUIRED TO SECURE COUNTERTOPS, CABINETRY AND SHELVING.
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- ALL EXTERIOR WALLS TO BE ICF UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS TO BE 2X4 UNLESS OTHERWISE NOTED.

KEY NOTES:

- 6" PVC VERTICAL PIPE FOR RADON MITIGATION. SECURE TIGHT TO WALL IN CLOSETS. PAINT TO MATCH. EXHAUST AT GABLE SIDE WALL. OFFSET PIPE BETWEEN FLOOR JOISTS
- METAL GUARDRAIL MOUNTED TO FLOOR.
- COUNTERTOP AND CASEWORK
- SEE ELECTRICAL PLAN FOR LIGHT FIXTURE AND SWITCH LOCATIONS.
- WHOLE HOUSE ATTIC FAN. SEE MECH. DWG. FOR SIZE AND MANUFACTURER.
- 24" x 24" ATTIC ACCESS HATCH
- FUTURE PHOTOVOLTAIC PANEL LAYOUT FOR ROOF. DO NOT HAVE ANY PLUMBING PENETRATIONS IN PANEL AREA.
- CONCRETE TILE ROOF
- ROOF VENT. SEE VENTING CALCULATIONS FOR SIZE AND MANUFACTURER
- PREFINISHED ALUMINUM GUTTERS AND DOWNSPOUTS.
- ROOF UNDERLAYMENT (STANDARD ICE AND WATER SHIELD) A MINIMUM OF 24" ABOVE THE INSIDE WALL TO EDGE OF OVERHANG. TYP. (HATCHED AREA)
- ROOF UNDERLAYMENT THROUGHOUT (HIGH-TEMPERATURE ICE AND WATER SHIELD)

LEGEND:

- ICF WALL CONSTRUCTION
- 2x STUD WALL CONSTRUCTION
- 2-HOUR RATED WALL SEPARATION
- CABINET / CASEWORK
- CABINET / CASEWORK / LINE ABOVE
- DOOR
- WINDOW
- POCKET DOOR
- FLOOR FINISH TRANSITION
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- BATH FAN



2 ROOF PLAN - UNIT B
1/4" = 1'-0"

1 SECOND FLOOR PLAN - UNIT B
1/4" = 1'-0"

aw
ARCHITECTURAL WORKSHOP - DENVER, COLORADO

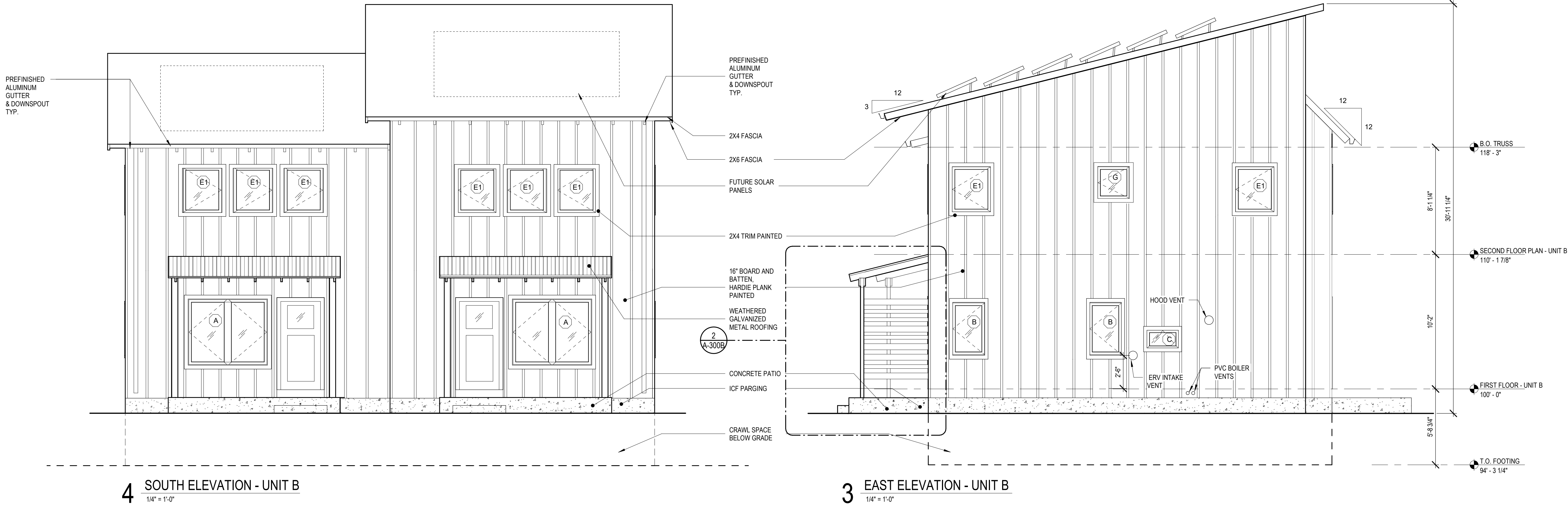
DATE	DESCRIPTION
07/09/2021	100% CONSTRUCTION DOCUMENTS
09/14/2021	UNIT B MODIFICATIONS

SECOND FLOOR PLAN
ROOF PLAN

A-101B

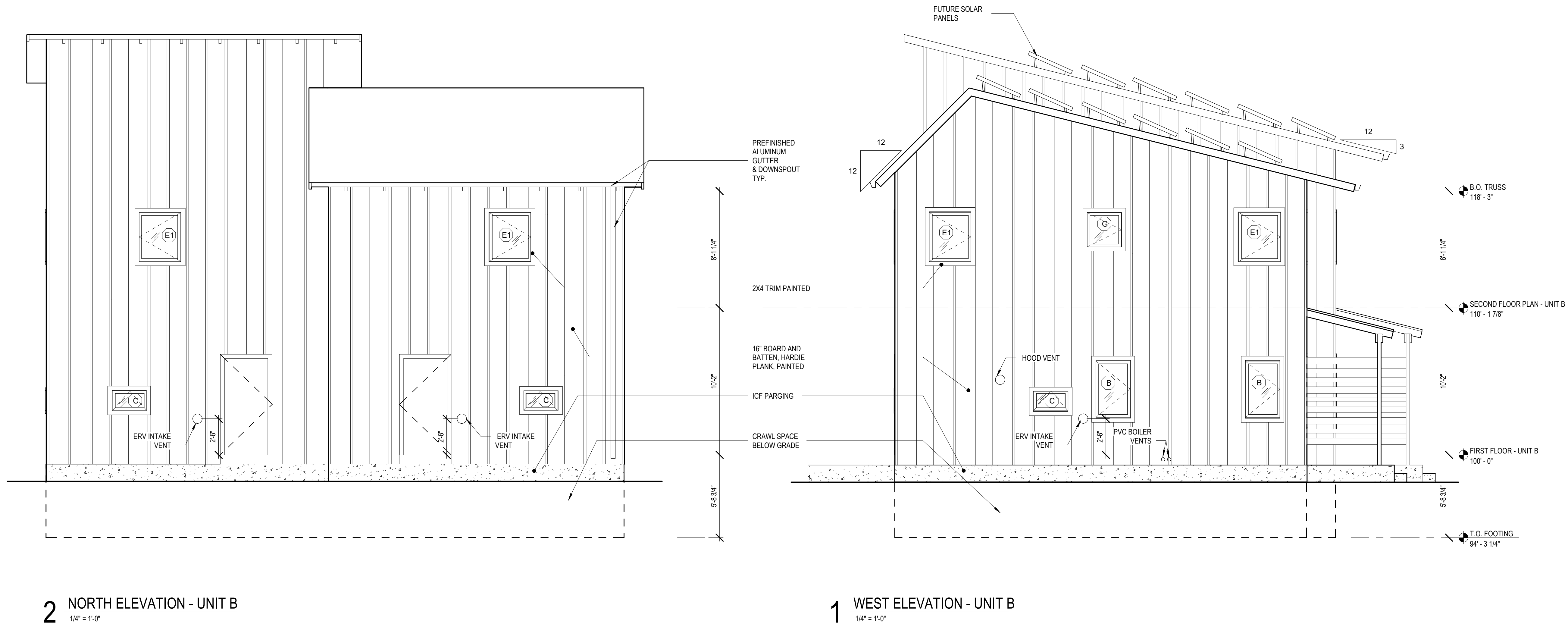
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COPYRIGHT NOTE:



4 SOUTH ELEVATION - UNIT B
1/4" = 1'-0"

3 EAST ELEVATION - UNIT B
1/4" = 1'-0"



2 NORTH ELEVATION - UNIT B
1/4" = 1'-0"

1 WEST ELEVATION - UNIT B
1/4" = 1'-0"



Habitat for Humanity
of Teller County

TRAILHEAD TOWNHOMES BUILDING TYPE B

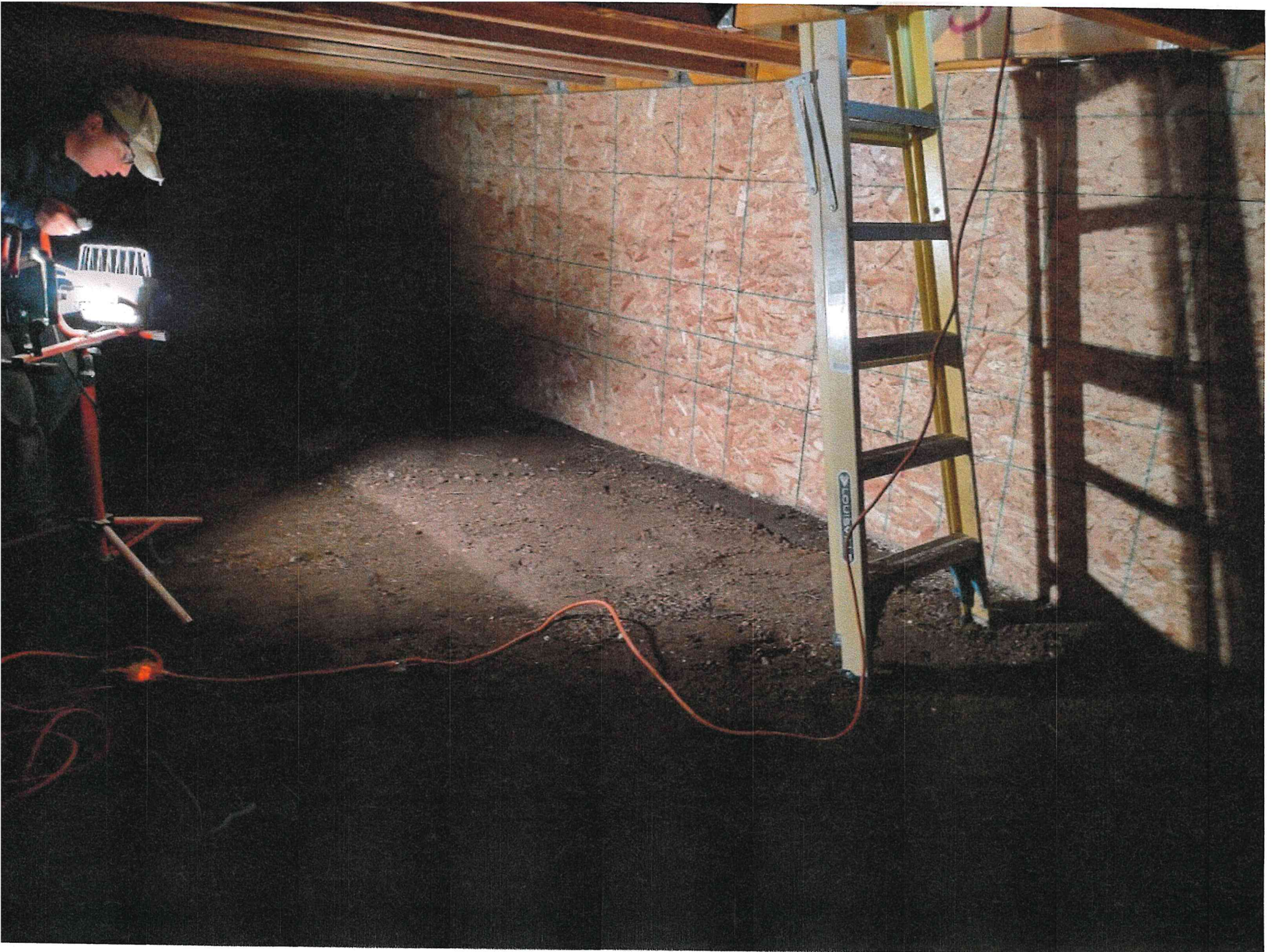
532 & 530 HIKERS WAY, WOODLAND PARK, CO 80863



DATE	DESCRIPTION
07/09/2021	100% CONSTRUCTION DOCUMENTS
09/14/2021	UNIT B MODIFICATIONS

EXTERIOR ELEVATIONS

A-200B







ITEM VI.C
VAR2023-06(B)

Planning Application Entry Form

Print Record



Go To Development Fees Receipt Form



ID

Permit Number 202309277

Project # EXT/Case # VAR2023-06(B)

Public Hearing Required ☐

Date Received 9/6/2023

Date Routed 9/7/2023

Date Initial Permit Approved

*Date Permit Paid 9/6/2023

Open Permit Comments

*NOTE: If Non-profit enter Date Approved in Date Permit Paid field for report

Project Type VAR

Project Type Number 11

Project Classification Building Code Varian

Non-Profit, Residential or Commercial Residential

Date CO Requested

Temp CO Auth Approved

Date Temp CO Expires

NOTE: Above Field required only for SINS and TUPs

Project Name 532 Hikers Way Crawl Space

Site Address Number 532

Site Address Name Hikers Way

Lot Number 16

Block Number -

Subdivision Trailhead Townhome

Filing # 1

Applicant Business Name Habitat for Humanity

App First Name Sara

App Last Name Vestil

App Phone Number 719-687-4447

PO Box 339

Mailing Address Street # -

Mailing Address Street Name -

City Woodland Park

State CO

Zip Code 80866

Owner First Name Habitat for Humanity

Owner Last Name -

Zone Class MFU

Applicant Project Value \$0.00

UTILITIES SECTION

Tap Allocation Date

Allocation Exp Date

Water Tap #

Sewer Tap #

Tap Paid Date

Tap Exp Date

Taps Refunded ☐

Inside/Outside User

Meter Installed ☐

Filed in Area

Dave's office

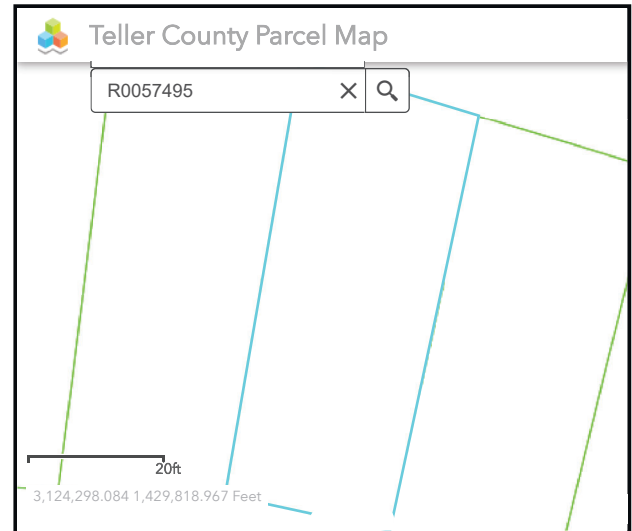
Teller County Property Records

Property Record

Acct No:R0057495



Map



[Full Screen Map](#) [Vacant Land Sales Map](#) [Comps Worksheet](#)

Ownership

Account No	R0057495
Parcel Id	6229.132810160
Notice of Value	PDF of 2023 Notice of Value
Actual	\$7,760
Assessed	\$2,170
Acct Type	Vacant Land
Owner Name	HABITAT FOR HUMANITY OF TELLER COUNTY, INC. A COLORADO NONPR
Mailing Address	PO BOX 339 WOODLAND PARK, CO 808660339

Location

Physical Address	532 HIKERS WAY
School Dist	RE-2
Acres	0.038000
Map No.	6229
Tax Dist	62
Area	JAMESTOWN SQUARE
Brief Legal	L16 TRAILHEAD TOWNHOMES 1

Brief Legal Description is not intended for use on legal documents

Zoning

Land Attributes

Land Type	Abst Code	Acres
Vacant	0101	0.04

Building Information (provided by Assessor)

Transfers (provided by Assessor)

Sale Date	Reception No	Deed Type	Sale Price
01/12/2022	747520	Plat	\$0

Building Permits

Date	Permit No.	Description	Permit Issued By
------	------------	-------------	------------------

Property Tax History (provided by Treasurer)

Delinquent taxes are not shown on this website.

[Tax detail on Treasurers Web Site \(Note: Select Public User Login Button if prompted\).](#)

[Tax Payment Web site](#)

Authority	Mil Levy	Amount
TELLER COUNTY	14.64	\$8.34
RE-2 SCHOOL DIST	27.924	\$15.92
CITY OF WOODLAND PARK	15.75	\$8.98
NE TELLER COUNTY FIRE	14.718	\$8.39
RAMPART LIBRARY	4.119	\$2.35
UPPER SO PLATTE WCD	0.13	\$0.07
UTE PASS REGIONAL HEALTH	3.99	\$2.27
TOTAL	81.27100	\$46.32

Tax Year	Tax Amount
2022	\$46.32

About

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Disclaimer

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Community Development
Services Division (CDSD)

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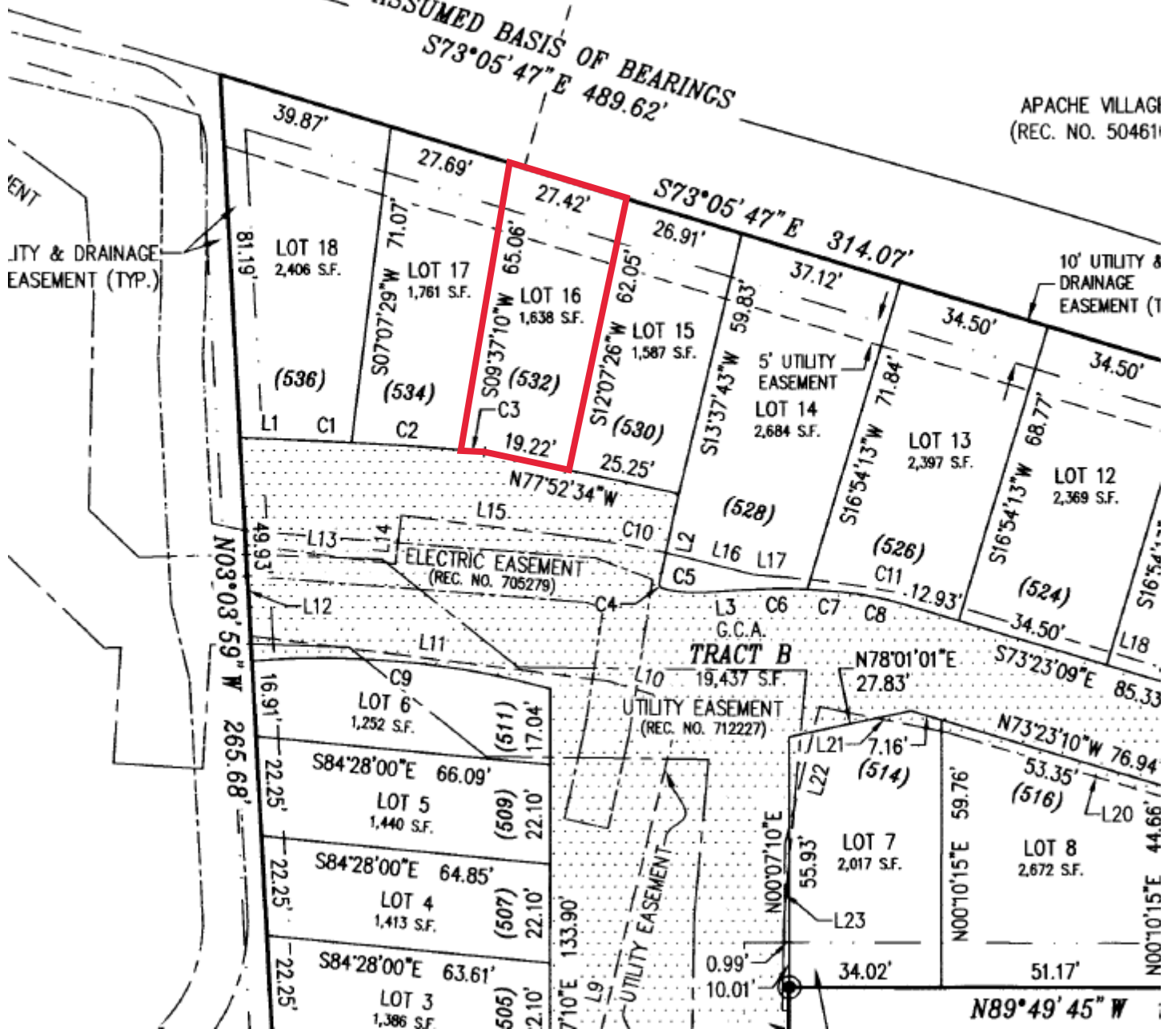


ASSUMED BASIS OF BEARINGS
S73°05'47"E 489.62'

APACHE VILLAGE
(REC. NO. 50461)

UTILITY & DRAINAGE
EASEMENT (TYP.)

10' UTILITY &
DRAINAGE
EASEMENT (TYP.)





RECEIVED
9/06/2023
**2023 BUILDING CODE
VARIANCE REQUEST**
Woodland Park Board of Review
(Revised 1/1/2023)

VAR 2023-06(B)
Project # 202309277
Date Received: _____
Fee: \$75.00
Pd \$75.00
check # 7996

TYPE: ☒ Variance ☐ Appeal ☐ Complaint

Note: The City relies upon information found in this application. You are encouraged to obtain a proper survey to verify lot lines and other information.

1. Applicant Information

- a. Applicant Name Habitat for Humanity of Teller County
b. Contractor ☐ Property Owner ☒

2. Property Owner Information

- a. Name Habitat for Humanity of Teller County Project Contact: Yes ☒ No ☐
b. Mailing Address P.O. Box 339, Woodland Park, CO 80866
c. E-mail Address execdir@tellerhabitat.org (Sara Vestal, interim Exec. Dir.)
d. Phone Numbers: Home _____ Work 719.687.4447 Mobile _____

3. Contractor Information

- a. Name Martine Y. Vogel Project Contact: Yes ☒ No ☐
b. Mailing Address P.O. Box 1813, Woodland Park, CO 80866
c. E-mail Address martine@openrangeconstruction.com
d. Phone Numbers: Home _____ Work 719.630.8767 Mobile 719.896.6149
e. Contractor License # 22368 WP Business License # 007515

4. Site Information

- a. Site Address 532 Hikers Way, Woodland Park, CO 80863
b. Lot 1716 Block _____ Subdivision Trailhead Townhomes Filing No. 1
c. Property Zoning _____ Lot Size 1587 Acres ☐ Square Feet ☒

5. Request

- a. Cite applicable Code sections: RBC 303.4.1 Crawl Space, 2017 PPRBC
b. Description and reason of request (Attach appropriate materials, photographs, sketches or plans) _____
Crawlspace exceeds 5' allowable crawlspace height by 2". Requesting variance
due to financial hardship posed by requiring Habitat to reduce the average height.
There is no structural concern with exceeding the 5' in the crawlspace.

➡ Builder/Applicant Signature Sara Vestal Date 9/6/2023
➡ Property Owners Signature Sara Vestal Date 9/6/2023

The applicant MUST ATTEND meetings to represent the request.



August 22, 2023

To whom it may concern,

Habitat for Humanity of Teller County approves the variance request for the crawl space height at 532 Hiker's Way.

Thank you,

Sara Vestal

Sara Vestal

Interim Executive Director
Habitat for Humanity of Teller County
execdir@tellerhabitat.org

Innovative Engineering Solutions, LLC

P.O. 1595 Colorado Springs, Co 80901 E-mail: matco11749@msn.com Phone: 719-649-0560

Regional Building Department
El Paso County
2880 International Circle
Colorado Springs, Co. 80910

Re: Habitat Project

08/25/2023

532 Hikers Way

Woodland Park, Co.

To whom it may concern:

The design of the crawlspace walls will be structural sound with a wall height of 5'2" which is what they built to.

If there are any questions regarding this inspection, please contact me.

Sincerely Yours;

Larry Matejcek, P.E.

SECTION RBC303 - RESIDENTIAL BUILDING CODE

RBC303.1 SHORT TITLE. This section will be known and cited as the Residential Building Code.

RBC303.2 SCOPE. The provisions of the Residential Building Code shall apply in accordance with Section RBC101.3 of this Code specifically to detached one- and two-family dwellings and townhomes not more than three (3) stories above grade plane in height with a separate means of egress and their accessory structures.

RBC303.3 CODE ADOPTED BY REFERENCE. There is hereby adopted by reference the International Residential Code for One-and Two-Family Dwellings of the International Code Council, 4051 West Flossmoor Road, Country Club Hills, IL 60478-5795, 2015 Edition. Three (3) copies of the Code are now filed in the office of the Clerk of the Jurisdiction and may be inspected during regular business hours. The Code is being adopted as if set out at length, to include the International Residential Code Appendices, save and except the following, which are declared to be non-applicable to the Jurisdiction and are therefore expressly deleted:

1. Chapter 1, Administration
2. Chapter 11, 12 and 25
3. Chapter 34 through 43
4. Appendix A through Appendix G
5. Appendix I through Appendix U

RBC303.4 ADDITIONS AND MODIFICATIONS. The adopted Code is subject to the following additions and modifications:

RBC303.4.1 Section R202 DEFINITIONS. Delete the definition of BASEMENT and replace with the following:

BASEMENT. That portion of a building that is partly or completely below grade plane, having a permanent floor of approved material and not defined as a crawlspace. (See the definitions of "Story above grade plane" in the International Residential Code, 2015 Edition and "Crawlspace" below.)

Add the following definitions:

CRAWL SPACE. An under-floor space between the bottom of a floor and the earth under any building that is not more than 5 feet (1,524 mm) in height measured from the average interior grade to the underside of the floor framing. (See Section R408 of the International Residential Code, 2015 Edition.)

GARAGE. An attached or detached, finished or unfinished structure or portion thereof provided with a vehicular access door and intended for storage of one or more motor vehicles.

SLEEPING ROOM. A habitable space used primarily for sleeping purposes and containing a closet 16 inches (406.4 mm) or greater in depth.

See Appendix D of this Code for additional modifications to Section 202 of the International Residential Code, 2015 Edition, by the City of Colorado Springs.

RBC303.4.2 Table R301.2(1) Climatic and geographic design criteria. Delete and replace with the following:

TABLE R301.2(1)
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

FLAT ROOF SNOW LOAD ^a	WIND DESIGN (V_{ult})				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDER- LAYMENT REQUIRED ^c	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	Speed ^b (mph)	Topographic effects	Special Wind Region	Wind- borne debris zone		Weathering	Frost line Depth	Termite					
30/40	130 Exp. C (min)	NO	YES	NO	B	Severe	30 inches (762 mm)	Slight to moderate	0°F (-18°C)	YES	12/18/1986	1,000	45°F (7°C)

a. For buildings or structures with a grade plane below 7,000 ft (2,134 m) elevation, the flat roof snow load (p_f) shall be 30 pounds per square foot (1,436 N/m²) of horizontal projected area. For all buildings and structures with a grade plane at or above 7,000 ft (2,134 m) elevation, the flat roof snow load (p_f) shall be 40 pounds per square foot (1,915 N/m²) of horizontal projected area.

b. Ultimate design wind speed (V_{ult}) per ASCE 7-10, refer to Table R301.2.1.3 of the International Residential Code, 2015 Edition for conversion to nominal design wind speed (V_{asd}) as used in previous version of ASCE 7.

c. Required only for buildings and structures with a grade plane at or above 7,000 ft (2,134 m) elevation.

PIKES PEAK REGIONAL BUILDING DEPARTMENT

2880 International Circle
Colorado Springs, Colorado 80910
Website: <http://www.pprbd.org>

Permit #: N77411

Plan #: R152752

532 HIKERS WAY

WOODLAND PARK, CO 80863

Owner: HABITAT FOR HUMANITY OF TELLER, 7196874447

101: NEW SINGLE FAMILY HOUSING

SINGLE FAMILY ATTACHED

ATTACHMENTS

D	Contractor	Issued	S	comment
B	HIGH PERFORMANCE STRUCTURES INC.	10/19/2021	O	

HISTORY

Contractor	Date	Code	S	Inspector	Comment
HIGH PERFORMANCE STRUCTURES INC.	07/25/2023 12:39 PM	BTR	C	ERAMIREZ	
HIGH PERFORMANCE STRUCTURES INC.	07/17/2023 07:18 AM	BFD	C	PAULP	
HIGH PERFORMANCE STRUCTURES INC.	07/17/2023 07:18 AM	BFR	C	PAULP	
HIGH PERFORMANCE STRUCTURES INC.	07/17/2023 07:17 AM	BFT	P	PAULP	Open hole on file
HIGH PERFORMANCE STRUCTURES INC.	07/14/2023 07:33 AM	BFT	P	PAULP	open hole on file -- 2400 PSF -- usable -- 10% / footing and foundation observation on file - ufer noted / foundation design on file (bearing capacity verified) / Still need drain
HIGH PERFORMANCE STRUCTURES INC.	07/11/2023 12:04 PM	BFR	R	ERAMIREZ	Provide open hole report to complete foundation inspections. / Crawlspace average height exceeds 5' throughout. /
HIGH PERFORMANCE STRUCTURES INC.	07/11/2023 08:41 AM	BFT	R	ERAMIREZ	Provide open hole report. Attached foundation wall letter already on file.
HIGH PERFORMANCE STRUCTURES INC.	06/13/2023 10:34 AM	BFR	R	PAULP	Missing PVC roof jacks / fireblocking at radon upper floor at ceiling concealed space / need detail for ledger attachments at floor framing / average height of crawl space at 5 feet 2 inches Still need to complete all foundation observations
HIGH PERFORMANCE STRUCTURES INC.	06/13/2023 08:16 AM	BFT	P	ERAMIREZ	Provide open hole report. / Engineer letter for footing - Ufer noted on file.
HIGH PERFORMANCE STRUCTURES INC.	06/13/2023 08:09 AM	BIN	P	INTERNET	Qualified third party energy inspection documentation must be presented at time of final building (B=) inspection
HIGH PERFORMANCE STRUCTURES INC.	06/05/2023 01:39 PM	BLA	C	ERAMIREZ	

HIGH PERFORMANCE STRUCTURES INC.	01/23/2023 07:58 AM	BFN	C	ERAMIREZ	Engineer letter for foundation on file -- Eufer not noted /
HIGH PERFORMANCE STRUCTURES INC.	08/23/2022 05:12 PM	BE	L	WEBSITE	Renewed for Half Fee at Aug 23 2022 5:12PM by (RECEIPT #: 1893880)
HIGH PERFORMANCE STRUCTURES INC.	10/19/2021 07:38 AM	BFT	P	JANE	AUTHORIZED INSPECTION BY ENGINEER
HIGH PERFORMANCE STRUCTURES INC.	10/19/2021 07:38 AM	BFN	P	JANE	AUTHORIZED INSPECTION BY ENGINEER
METHOD ELECTRIC LLC	05/24/2023 07:29 AM	ER	C	JOHNN	
METHOD ELECTRIC LLC	05/19/2023 04:23 PM	ES	C	JOHNN	Residential Underground: 100-amp 3 Wire New Residence ok to set meter. /
METHOD ELECTRIC LLC	05/19/2023 04:23 PM	ER	R	JOHNN	dining room needs fan box per NEC 314.27 C/ rest is ok/ CHECK ufer on FINAL/ Photo upload requested. If unfamiliar with uploading photos for an inspection, please click the following link: https://youtu.be/QS0hdGSBA6o/
METHOD ELECTRIC LLC	05/02/2023 04:05 PM	EUG	C	JOHNN	1/0 al,4w
RTB PROPERTIES LLC	06/05/2023 07:36 AM	HC	C	BILLS	RELEASE METER
RTB PROPERTIES LLC	06/05/2023 07:35 AM	HRR	C	BILLS	CORRECTIONS MADE, SEE IMAGES WHOLE HOUSE VENTILATION BEING ACHIEVED THROUGH EXHAUST FAN LOCATED IN 2ND FLOOR HALLWAY CEILING. NOTE / CONDITIONED CRAWLSPACE (ERV SYSTEM) / DIRECT VENT BOILER WITH DOMESTIC SIDE-ARM / HYDRONIC HEAT /
WOODLAND PLUMBING, HEATING & AIR CONDITIONING LLC	05/31/2023 10:46 AM	HI	C	BILLS	10 LB TEST OK / 1 INCH MAIN / 1 DIRECT VENT BOILER /
WOODLAND PLUMBING, HEATING & AIR CONDITIONING LLC	05/31/2023 10:44 AM	HWP	C	BILLS	NOTE / HYDRONIC PRESSURE TEST OK / STAPLE-UP PIPING OK AT MAIN AND UPPER LEVELS /
RTB PROPERTIES LLC	05/31/2023 10:43 AM	HRR	P	BILLS	DRYER EXHAUST REQUIRES NAIL PROTECTION AT WALL TOP PLATE, BOILER VENTING REQUIRES NAIL PROTECTION AT POWDER BATH WALL BOTTOM PLATES AND NEED SOFFIT FRAMING COMPLETED AT SAME. CONTRACTOR TO ATTACH PICTURES AT NEXT INSPECTION REQUEST. WHOLE HOUSE VENTILATION BEING ACHIEVED THROUGH EXHAUST FAN LOCATED IN 2ND FLOOR HALLWAY CEILING. NOTE / CONDITIONED CRAWLSPACE (ERV SYSTEM) / DIRECT VENT BOILER WITH DOMESTIC SIDE-ARM / HYDRONIC HEAT /
WOODLAND PLUMBING, HEATING & AIR CONDITIONING LLC	05/15/2023 10:21 AM	PTO	C	TRAVISR	Need Sleeve On Incoming Sewer Line By Final / Slip Joints @ Tub Need To Be Accessible By Final Note : No Irrigation Stub / 1-VTR

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COPYRIGHT NOTE:

CRAWL SPACE VENTILATION:

VENTILATION PER IRC 408.3.1 & 2.1

Q= 1 CFM PER 50 SF OF CRAWLSPACE AREA.
Q= (428 SF / 50 SF) X 1 (CFM)

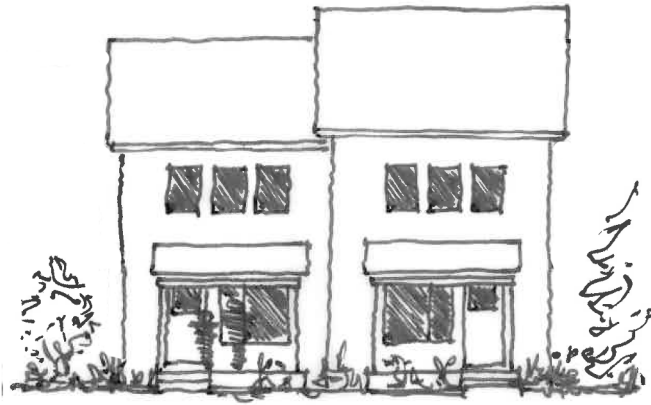
= 8.5 CFM, EXHAUST-REQUIRED
= 10 CFM, EXHAUST PROVIDED

ROOM FINISH SCHEDULE

NAME	FLOOR				BASE	WALLS	CEILING	CEILING HEIGHT	REMARKS	
	CONCRETE	WOOD	LVT	SHEET VINYL	WOOD	Gypsum BOARD	TILE	Gypsum BOARD		
CRAWL SPACE (001L,001R)	●					●		●	4' - 8"	
LIVING ROOM (100L, 100R)			●		●	●	●		9' - 1 1/8"	SEE ELEVATION FOR TILE PLACEMENT
KITCHEN (101L, 101R)			●		●	●	●		9' - 1 1/8"	
POWDER ROOM (102L, 102R)			●		●		●		9' - 1 1/8"	
STORAGE (103L, 103R)	●					●		●	9' - 1 1/8"	
STAIR (104L, 104R)		●			●	●		●	9' - 1 1/8"	
CLOSET (200L, 200R)					●	●		●	8' - 1 1/8"	
BEDROOM 2 (201L, 201R)			●		●	●		●	8' - 1 1/8"	
BATHROOM (202L, 202R)				●	●	●	●		8' - 1 1/8"	SEE ELEVATION FOR TILE PLACEMENT
BEDROOM 1 (203L, 203R)			●		●	●		●	8' - 1 1/8"	
CLOSET (204L, 204R)			●		●	●		●	8' - 1 1/8"	
LAUNDRY ROOM (205L, 205R)			●	●		●	●		8' - 1 1/8"	
HALL (206L, 206R)			●		●	●		●	8' - 1 1/8"	

GENERAL NOTES:

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- THE ARCHITECT DISCLAIMS ANY RESPONSIBILITIES AND/OR KNOWLEDGE OF ASBESTOS. THE OWNER ACCEPTS ALL RESPONSIBILITY FOR REMOVAL AND DISPOSAL OF ASBESTOS IF DISCOVERED.
- DOORS IN STUD WALLS THAT ARE NOT SPECIFICALLY LOCATED, PROVIDE A HINGE SIDE JAMB DIMENSION OF 4" FROM DOOR OPENING TO ADJACENT WALL. ALL DOORS TO HAVE KING STUDS (2X) BOTH SIDES.
- PROVIDE BLOCKING IN THE WALL AS REQUIRED TO SECURE COUNTERTOPS, CABINETS AND SHELVING.
- ALL DIMENSIONS ARE FROM FACE OF STUD, CABINETS, ROUGH OPENINGS OR CENTERLINE OF GRID UNLESS NOTED OTHERWISE.
- SUBMIT MILLWORK SHOP DRAWINGS AND FINISH SUBMITTALS TO OWNER FOR APPROVAL BEFORE FABRICATION OR INSTALLATION.
- ALL ROUGH AND FINISH CONSTRUCTION SHALL BE IN COMPLIANCE WITH GOVERNING CODES AND REGULATIONS AS A MINIMUM STANDARD.
- ALL EXTERIOR WALLS TO BE ICF UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS TO BE 2X4 UNLESS OTHERWISE NOTED.



Habitat for Humanity
of Teller County

TRAILHEAD TOWNHOMES BUILDING TYPE B

532 & 530 HIKERS WAY, WOODLAND PARK, CO 80863

KEY NOTES:

- 2' 8" x 2' 8" CRAWL SPACE ACCESS HATCH. PROVED FLUSH HANDLE, CONTINUOUS HINGE AND SECURE LATCH. FINISH TOP TO MATCH FLOOR WITH ALUM EDGE BAND
- PROVIDE FRAMED & FINISHED WALL WITH 2" SILL DEFLECTION. PROVIDE SECURE LADDER MOUNTED TO WALL. PAINT.
- 4" CONC. PAD WITH FIBER REINF.
- PROVIDE PLASTIC COVER OVER ALL EXPOSED GRADE IN CRAWL SPACE. USE THICKNESS AND FASTENING AS PER RADON CONSULTANT.
- ERV PROPOSED DUCT LAYOUT. SEE MECH. DWG. MOUNT TIGHT TO JOIST.
- MECH. INTAKE/EXHAUST THRU CONC. WALL. PROVIDE OPENING THRU WALL AT 1" LARGER DIA. THAN DUCT SIZE
- 6" PVC VERTICAL PIPE FOR RADON MITIGATION. SECURE TIGHT TO WALL IN CLOSETS. PAINT TO MATCH. EXHAUST AT GABLE SIDE WALL. OFFSET IN 2ND FLOOR JOISTS TO BE TIGHT AGAINST BACK OF CLOSET
- 8" WIDE WALL FOR DUCTING AND BUILT IN SHELVES. SEE ELEVATIONS.
- FURRED OUT SOFFIT OVER CABINETS. SEE ELEVATION.
- OPEN GUARDRAIL MOUNTED TO WOOD TREADS AND HALF WALL.
- SMALL VANITY TO FIT RESTROOM. VERIFY DIMENSIONS. SEE ELEVATION.
- OVER HANG COUNTER W/ 8" SUPPORTS
- FUTURE LOCATION OF PHOTOVOLTAIC INVERTER. PROVIDE 2" CONDUIT TO ATTIC AND 1" CONDUIT TO ELEC. PANEL.
- SEE ELECTRICAL PLAN FOR LIGHT FIXTURE AND SWITCH LOCATIONS.
- ERV FLOOR REGISTER OR WALL REGISTER, RE: MECH.
- ERV INTAKE IN BASE CABINET OR WALL. INTAKE SHALL BE 2'-6" AFF.

LEGEND:

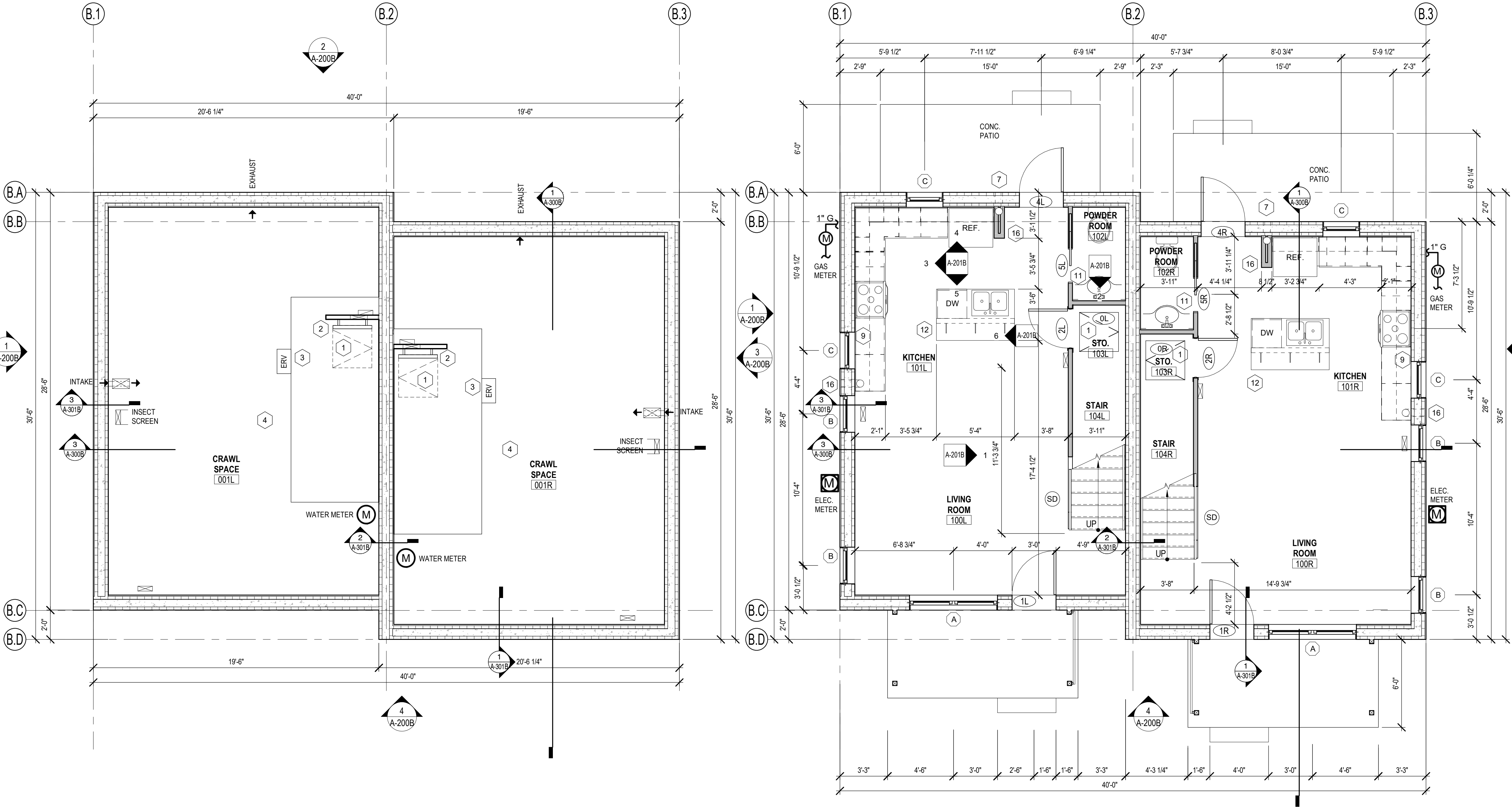
- ICF WALL CONSTRUCTION
- 2x STUD WALL CONSTRUCTION
- 2-HOUR RATED WALL SEPARATION
- CABINET / CASEWORK
- CABINET / CASEWORK / LINE ABOVE
- DOOR
- WINDOW
- POCKET DOOR
- FLOOR FINISH TRANSITION
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- BATH FAN

aw
ARCHITECTURAL WORKSHOP - DENVER, COLORADO

DATE	DESCRIPTION
07/09/2021	100% CONSTRUCTION DOCUMENTS
09/14/2021	UNIT B MODIFICATIONS

FIRST FLOOR PLAN
CRAWL SPACE PLAN

A-100B



2 CRAWL SPACE - UNIT B
1/4" = 1'-0"



1 FIRST FLOOR PLAN - UNIT B
1/4" = 1'-0"



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COPYRIGHT NOTE:

ROOF VENTILATION:

IRC R806.2
THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE.

EXCEPTION: THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET:

2. NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EASE OR CORNICE VENTS.

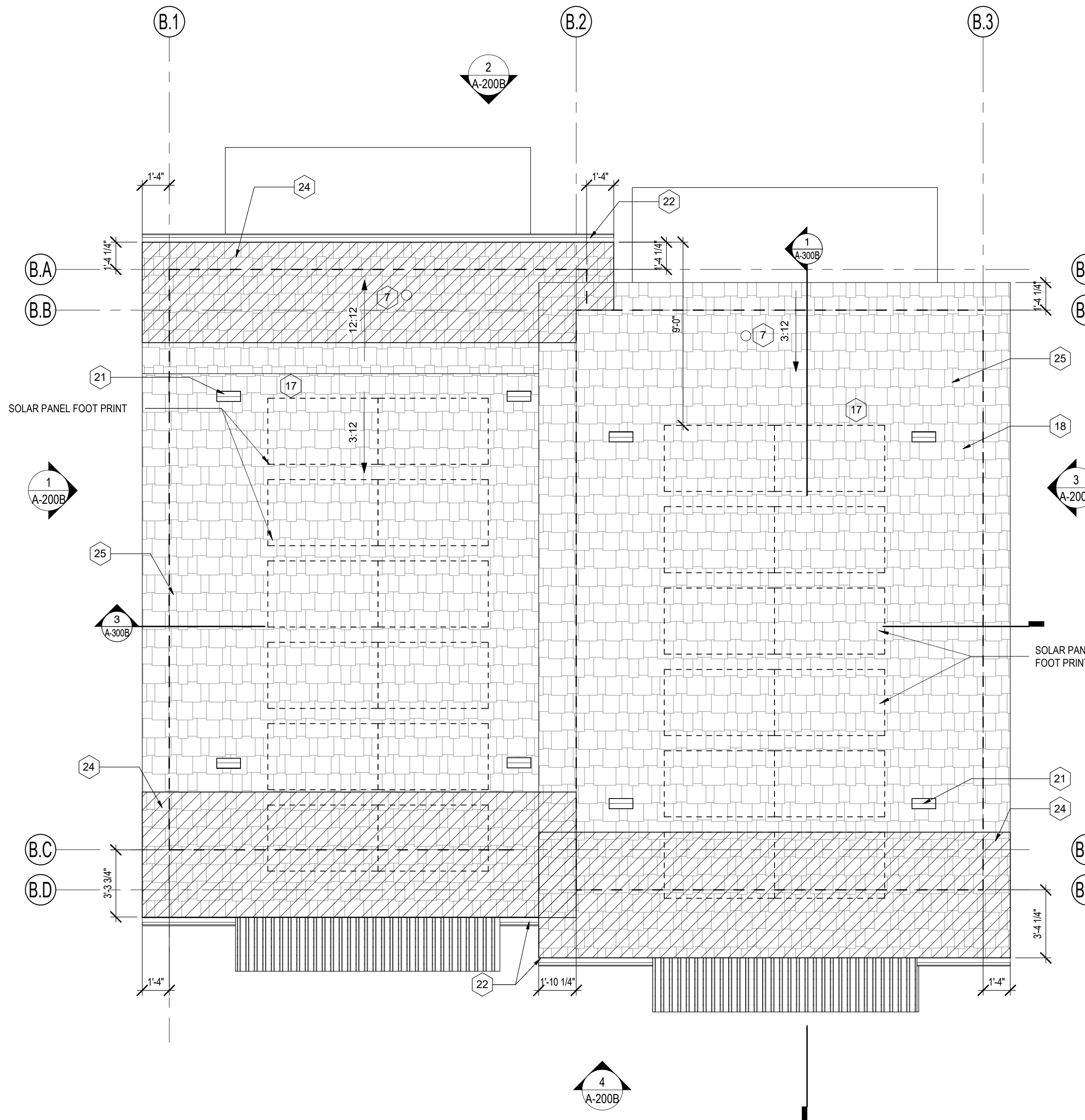
LEFT UNIT:
TOTAL ROOF AREA: 19' - 6" X 28' - 6" = 556 S.F.
REQUIRED VENTILATION: 556/300 = 266.88 SQ. IN.

VENTILATION PROVIDED AT ROOF: 4 X 98.75 SQ. IN. = 395 SQ. IN

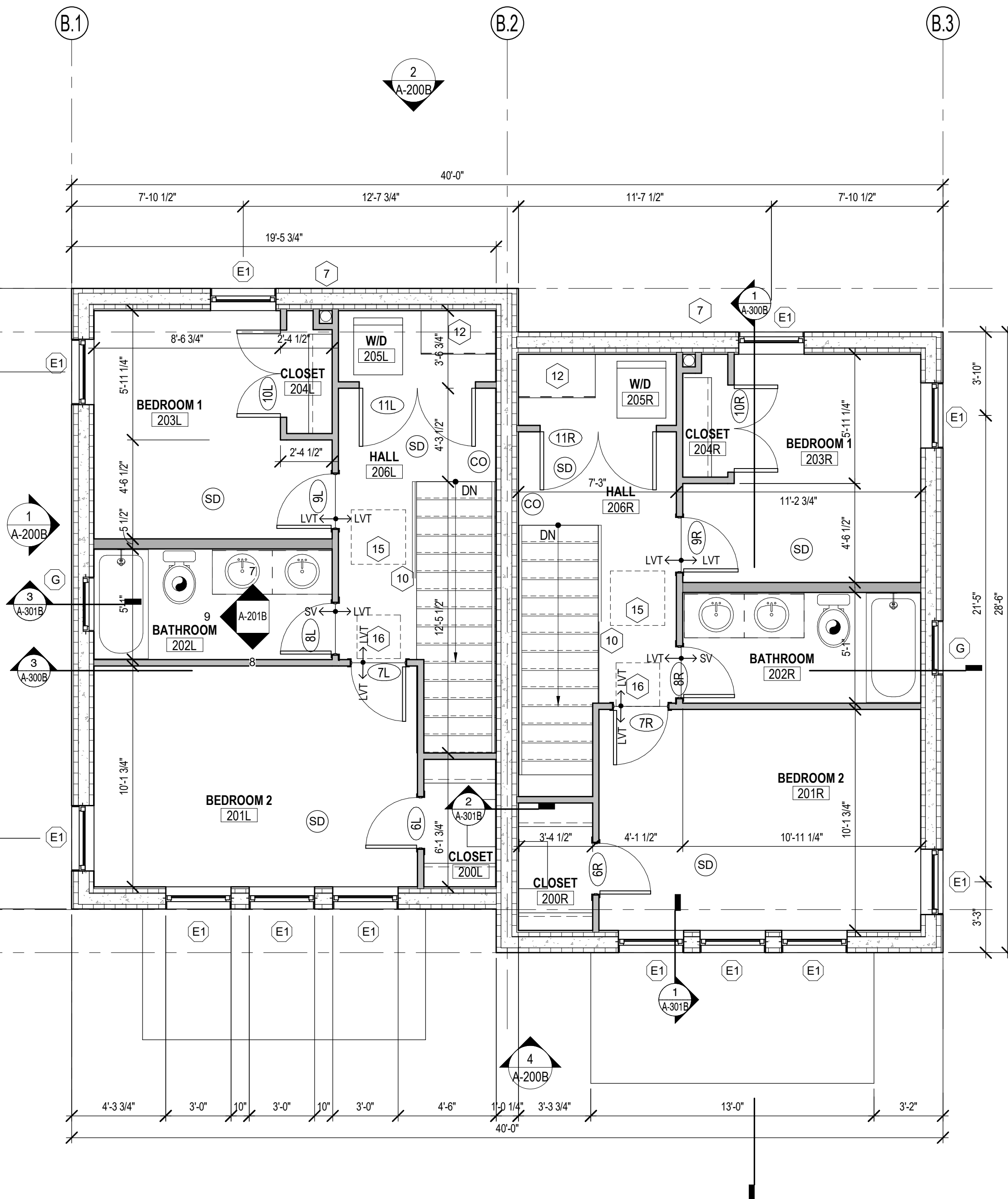
RIGHT UNIT:
TOTAL ROOF AREA: 19' - 6" X 28' - 6" = 556 S.F.
REQUIRED VENTILATION: 556/300 = 266.88 SQ. IN.

VENTILATION PROVIDED AT ROOF: 4 X 98.75 SQ. IN. = 395 SQ. IN

ROOF VENT = O'HAGIN "FLAT" STYLE VENT
98.75 SQ. IN. NET FREE VENTILATION



2 ROOF PLAN - UNIT B
1/4" = 1'-0"



1 SECOND FLOOR PLAN - UNIT B
1/4" = 1'-0"

GENERAL NOTES:

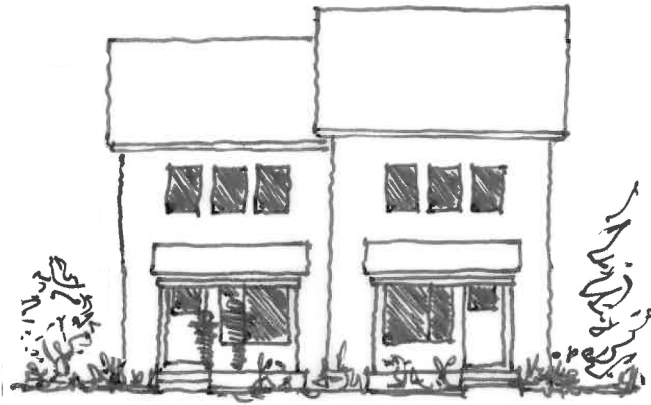
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- ALL EXTERIOR WALLS TO BE ICF UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS TO BE 2X4 UNLESS OTHERWISE NOTED.

KEY NOTES:

- 6" PVC VERTICAL PIPE FOR RADON MITIGATION. SECURE TIGHT TO WALL IN CLOSETS. PAINT TO MATCH. EXHAUST AT GABLE SIDE WALL. OFFSET PIPE BETWEEN FLOOR JOISTS
- METAL GUARDRAIL MOUNTED TO FLOOR.
- COUNTERTOP AND CASEWORK
- SEE ELECTRICAL PLAN FOR LIGHT FIXTURE AND SWITCH LOCATIONS.
- WHOLE HOUSE ATTIC FAN. SEE MECH. DWG. FOR SIZE AND MANUFACTURER.
- 24" x 24" ATTIC ACCESS HATCH
- FUTURE PHOTOVOLTAIC PANEL LAYOUT FOR ROOF. DO NOT HAVE ANY PLUMBING PENETRATIONS IN PANEL AREA.
- CONCRETE TILE ROOF
- ROOF VENT. SEE VENTING CALCULATIONS FOR SIZE AND MANUFACTURER
- PREFINISHED ALUMINUM GUTTERS AND DOWNSPOUTS.
- ROOF UNDERLAYMENT (STANDARD ICE AND WATER SHIELD) A MINIMUM OF 24" ABOVE THE INSIDE WALL TO EDGE OF OVERHANG. TYP. (HATCHED AREA)
- ROOF UNDERLAYMENT THROUGHOUT (HIGH-TEMPERATURE ICE AND WATER SHIELD)

LEGEND:

- ICF WALL CONSTRUCTION
- 2x STUD WALL CONSTRUCTION
- 2-HOUR RATED WALL SEPARATION
- CABINET / CASEWORK
- CABINET / CASEWORK / LINE ABOVE
- DOOR
- WINDOW
- POCKET DOOR
- FLOOR FINISH TRANSITION
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- BATH FAN



Habitat for Humanity
of Teller County

TRAILHEAD TOWNHOMES BUILDING TYPE B

532 & 530 HIKERS WAY, WOODLAND PARK, CO 80863

aw
ARCHITECTURAL WORKSHOP - DENVER, COLORADO

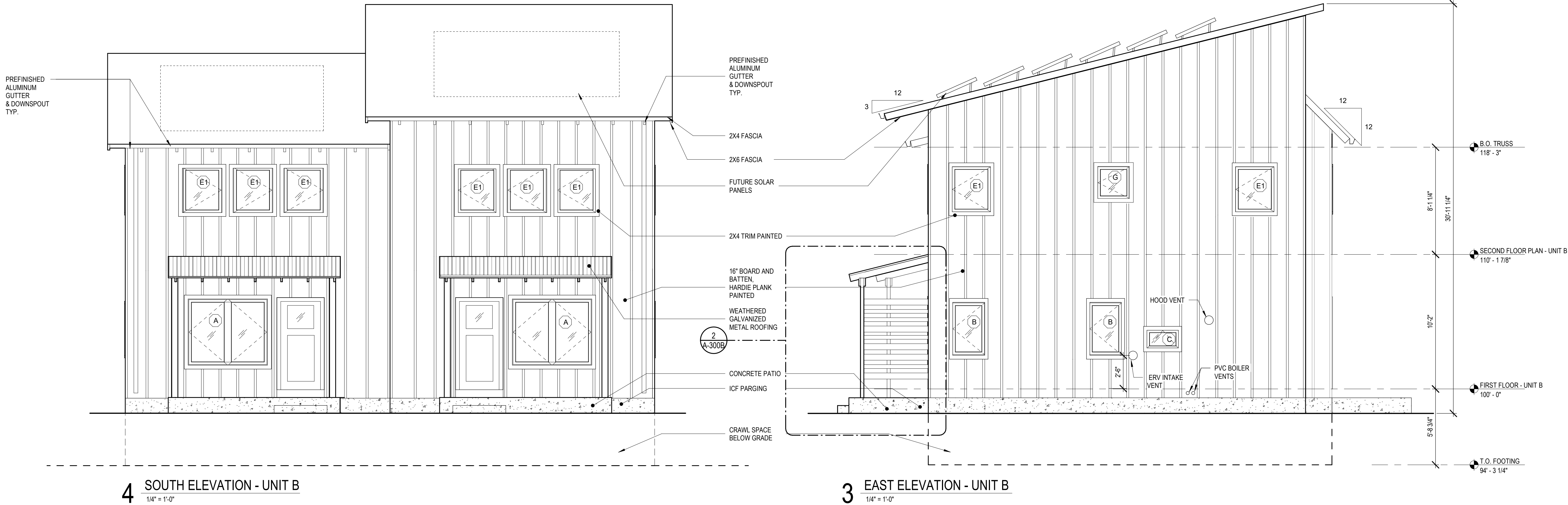
DATE	DESCRIPTION
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09/14/2021	UNIT B MODIFICATIONS

SECOND FLOOR PLAN
ROOF PLAN

A-101B

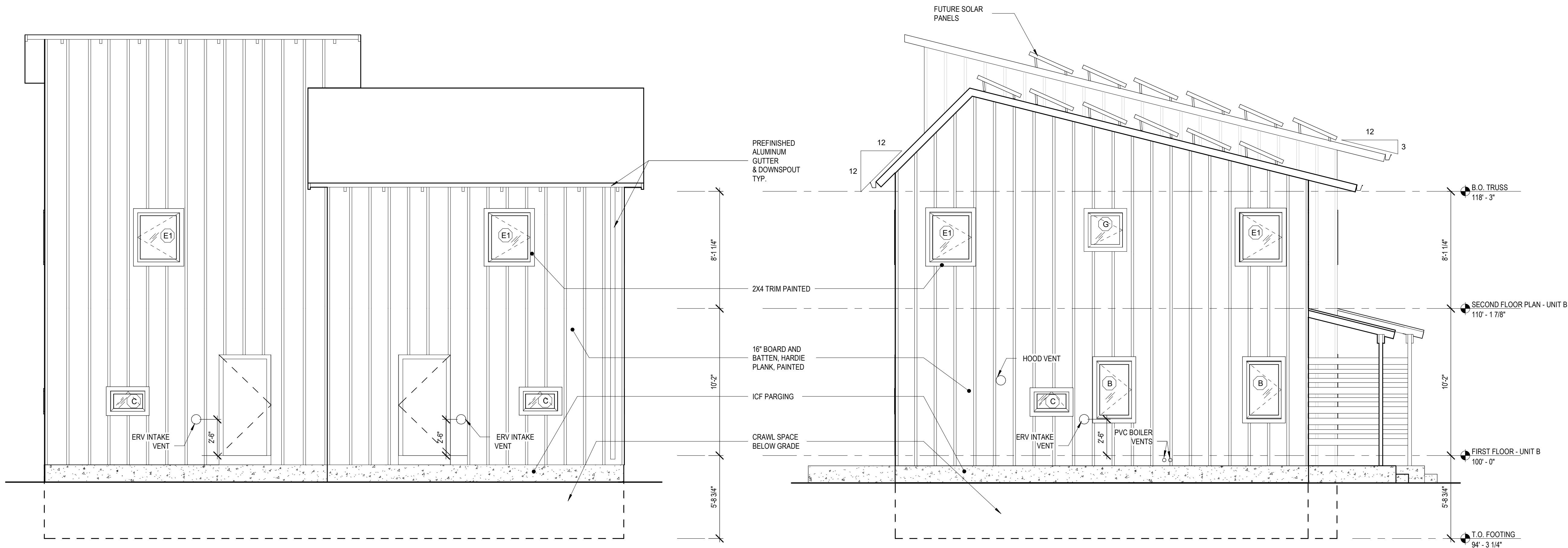
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4 SOUTH ELEVATION - UNIT B
1/4" = 1'-0"

3 EAST ELEVATION - UNIT B
1/4" = 1'-0"



2 NORTH ELEVATION - UNIT B
1/4" = 1'-0"

1 WEST ELEVATION - UNIT B
1/4" = 1'-0"



Habitat for Humanity
of Teller County

TRAILHEAD TOWNHOMES
BUILDING TYPE B

532 & 530 HIKERS WAY, WOODLAND PARK, CO 80863

aw
ARCHITECTURAL WORKSHOP · DENVER, COLORADO

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EXTERIOR ELEVATIONS

A-200B

